

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
SEPTEMBER 15, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) CONSENT AGENDA

(1) Approval of Minutes for the August 25, 2020 Planning and Zoning Commission meeting.

(2) **P2020-034 (DAVID GONZALES)**

Consider a request by Chad DuBose of JCDB Holdings, LLC for the approval of a Final Plat for Lots 1, Block A, Pecan Valley Retail Addition being a 2.356-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive and 3005 N. Goliad Street [SH-205], and take any action necessary.

(3) **SP2020-020 (DAVID GONZALES)**

Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for the approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochell Road south of SH-276, and take any action necessary.

(4) **SP2020-022 (DAVID GONZALES)**

Discuss and consider a request by Kevin Lawson of Lawson Real Estate Holdings, LLC for the approval of a Site Plan for an *office building* on a 0.47-acre parcel of land identified as Lot 5, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1507 Airport Road.

(IV) PUBLIC HEARING ITEMS

(5) **Z2020-033 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

(6) **Z2020-034 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

(7) **Z2020-035 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

(8) **Z2020-036 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Nabihha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned

Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

(9) **Z2020-037 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

(10) **Z2020-038 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

(V) **ACTION ITEMS**

(11) **SP2020-018 (DAVID GONZALES)**

Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Russell Phillips of Harbor LakePointe Investors, LLC for the approval of an Amended Site Plan for a 265-unit condominium development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

(VI) **DISCUSSION ITEMS**

(12) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2020-031: Final Plat for Lot 1, Block A, Sparks Six Addition **(APPROVED)**
- P2020-033: Replat for Lot 6, Block A, Harbor District Addition **(APPROVED)**
- Z2020-030: SUP for an *Accessory Building* for 1748 Lake Breeze Drive **(APPROVED; 2<sup>ND</sup> READING)**
- Z2020-031: Zoning Amendment to Planned Development District 79 (PD-79) **(APPROVED; 2<sup>ND</sup> READING)**
- Z2020-032: SUP for a *Residential Infill in an Established Subdivision* for 481 Blanche Drive **(APPROVED; 2<sup>ND</sup> READING)**

(VII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 11, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES



**PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
AUGUST 25, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

2 I. CALL TO ORDER  
3

4 Chairman Eric Chodun called the meeting to order at 6:01 PM. Commissioners present were John Womble, Tracey Logan, Sedric Thomas,  
5 Annie Fishman and Vice-Chairman Jerry Welch. Absent from the meeting was Commissioner Mark Moeller. Staff members present were  
6 Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning  
7 Coordinator Angelica Gamez, and City Engineer Amy Williams.  
8

9 II. OPEN FORUM  
10

11 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There  
12 being no one coming forward, Chairman Chodun closed the open forum.  
13

14 III. APPOINTMENTS  
15

- 16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments  
17 for items on the agenda requiring architectural review.  
18

19 A representative from the Architectural Review Board was not present and Planning and Zoning Director Ryan Miller advised the  
20 Commission that recommendations made by the Board would be discussed with each case.  
21

22 IV. CONSENT AGENDA  
23

- 24 2. Approval of Minutes for the August 11, 2020 Planning and Zoning Commission meeting.  
25

26 3. **P2020-031 (DAVID GONZALES)**

27 Consider a request by Kerry Joshua Sparks for the approval of a Final Plat for Lot 1, Block A, Sparks Six Addition being a 2.88-acre tract of land  
28 identified as Tract 3-03, 3-05, & 3-07 of the M. Simmons Survey, Abstract No. 194, Rockwall County, Texas, situated within the City of Rockwall's  
29 Extraterritorial Jurisdiction (ETJ), generally located on the west side of Old Millwood Road north of the intersection of Old Millwood Road and FM-  
30 552, and take any action necessary.  
31

32 4. **P2020-033 (HENRY LEE)**

33 Consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Dan Bobst of Harbor Heights Investors, LP for the approval  
34 of a Replat for Lot 6, Block A, Harbor District Addition being a 2.06-acre parcel of land identified as Lot 1, Block A, Harbor District Addition, City of  
35 Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District,  
36 addressed as 2701 Sunset Ridge Drive, and take any action necessary.  
37

38 Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Sedric Thomas seconded the motion which passed  
39 by a vote of 6-0 with Commissioner Moeller absent.  
40

41 V. DISCUSSION ITEMS  
42

43 5. **Z2020-033 (HENRY LEE)**

44 Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for Residential Infill in an  
45 Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard  
46 Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any  
47 action necessary.  
48

49 Chairman Chodun asked the applicant to come forward.  
50

51 Patrick Wells  
52 210 Wade Drive  
53 Rockwall, TX 75087  
54

55 The applicant came forward and provided a brief summary in regards to the request. He explained that his family is downsizing and are  
56 ready to build their forever home. He added that he turned in updated plans after speaking with Craig Foshee in regards to the easements  
57 and encroachment.  
58

59 Commissioner Womble asked if there would be a housing analysis shown at the public hearing.  
60

61 Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the  
62 Commission for action at the next scheduled meeting on September 15, 2020.  
63

64 6. **Z2020-034 (RYAN MILLER)**

65 Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for Residential Infill in an  
66 Established Subdivision for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A,  
67 Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family  
68 residential land uses, addressed as 118 Mischief Lane, and take any action necessary.  
69

70 **Chairman Chodun asked the applicant to come forward.**

71  
72 **Hunter Sonnen (representative)**  
73 **4435 Middleoak Grove**  
74 **Katy, TX 77494**  
75

76 **The representative came forward and provided a brief summary in regards to the request. He indicated that their main issue was having**  
77 **the front facing garage without the 20-foot recessed from the front façade. Mr. Sonnen added that they did research on the neighborhood**  
78 **and found that 15 of about 21 homes there were built in a similar style and feels that the requested home is harmonious with the**  
79 **subdivision.**  
80

81 **Planning and Zoning Director Ryan Miller advised the Commission that pictures of the surrounding homes in the area were added to their**  
82 **packets. He also stated that the Commission's approval of the waiver would not set a precedence in the neighborhood as there were**  
83 **already homes of a similar style. Mr. Miller then advised the applicant's representative that Staff had been contacted by the Homeowners**  
84 **Association of the neighborhood and they wanted the applicant to meet with them as the requested home does not meet their deed**  
85 **restrictions.**  
86

87 **Vice-Chairman Welch asked what the distance was from the garage to the front of the street.**  
88

89 **Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the**  
90 **Commission for action at the next scheduled meeting on September 15, 2020.**  
91

92 **7. Z2020-035 (RYAN MILLER)**

93 Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit  
94 (SUP) for a Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a  
95 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned  
96 Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action  
97 necessary.  
98

99 **Chairman Chodun asked the applicant to come forward.**  
100

101 **Casey Orr (Engineer)**  
102 **121 S. Main Street**  
103 **Henderson, TX 75654**  
104

105 **Mike Stansburg (Director of Development)**  
106 **101 E. Cherokee Street**  
107 **Jacksonville TX 75766**  
108

109 **Mr. Stansburg came forward and provided a brief background and summary of the request. He added that they have other preliminary**  
110 **layouts based on comments that they had received. He added that they also have some questions in regards to primary façade facing of**  
111 **the building and the articulation they would need to comply with. He then advised that they were available to address any concerns or**  
112 **questions the Commission had.**  
113

114 **Planning and Zoning Director Ryan Miller provided additional details in regards to the request. He clarified that the location was not in the**  
115 **Downtown (DT) District and was not located in any Overlay (OV) Districts either. Mr. Miller added that it is zoned Planned Development**  
116 **and it does have Residential adjacency on two (2) sides and street frontage on the other 2 sides. He added that the proposed use clearly**  
117 **states that they cannot take access from a residential street but the alleyway behind the proposed restaurant is considered a residential**  
118 **street. The applicants currently have a drive off of 205 and if they reorient it to W. Bourn Street then they would need to seek a variance to**  
119 **the driveway spacing requirement. There were also some issues with residential adjacency that were detailed in the project comments**  
120 **such as the location of the speaker box adjacent to the residential areas. Staff also asked for screening exhibits to tie down the screening.**  
121 **Due to the large issue of residential adjacency, Staff made a recommendation that the applicants limit the hours of operation to help**  
122 **accommodate the issue.**

123 **Commissioner Logan advised that it was a tricky location and would be surprised if the applicant did not receive feedback from the**  
124 **neighbors.**  
125

126 **Chairman Chodun asked if their intention was to stay open 24 hours but the applicant suggested that it would not be a 24-hour location**  
127 **but hours had not been finalized yet. He also asked what prompted the change in configuration of the restaurant.**  
128

129 **Planning and Zoning Director Ryan Miller advised that that would be a tough sell and a discretionary decision for TX dot.**  
130

131 **Commissioner Fishman asked if this was the standard size of a Taco Bell and asked if the parking requirement was met.**  
132

133 **Chairman Chodun asked if there were any traffic studies conducted in the area.**

134 Commissioner Thomas advised what the peak times would be at the restaurant.

135  
136 Vice-Chairman Welch suggested to the applicant that it would be nice to have the residents located on the west in favor of the request.

137  
138 Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the  
139 Commission for action at the next scheduled meeting on September 15, 2020.  
140  
141

142 8. **Z2020-036 (RYAN MILLER)**

143 Hold a public hearing to discuss and consider a request by Nabih Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the  
144 approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of  
145 constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1,  
146 Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30  
147 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.  
148

149 Chairman Chodun asked the applicant to come forward.

150  
151 **Steve Symonds**  
152 **7503 Flagstone Drive**  
153 **Fort Worth, TX 76118**  
154

155 The applicant came forward and showed a video regarding the request. He added that the owners are very much for the request and what  
156 they believe in.  
157

158 Planning and Zoning Director Ryan Miller provided additional detail sin regards to the request. He explained that flag poles are required  
159 to meet the same height standards as a structure. Due to them being in a Light Industrial (LI) District, it does grant them higher height  
160 limitation of up to 60 feet but anything over that is required to get a Specific Use Permit (SUP) with the maximum cutoff being 120 feet.  
161

162 Vice-Chairman Welch asked about the size of the flag would be.

163 Commissioner Fishman asked what safety considerations should be considered when having something that tall.

164 Vice-Chairman Welch asked about the height of the 2 large flag poles in Rowlett. He also asked if there was a certain height of the flag pole  
165 where it requires a light for airplanes.  
166

167 Chairman Chodun asked if there would a precedence set in Rockwall or if they could limit what the flag says. Mr. Miller advised that the  
168 Commission would be approving the height of the pole and not the message.  
169

170 Commissioner Womble asked if there was a reason why they could not dictate what is flown on the pole.  
171

172 Commissioner Thomas added that the flag poles would draw attention to the other dealerships.  
173

174 Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the  
175 Commission for action at the next scheduled meeting on September 15, 2020.  
176  
177

178 9. **Z2020-037 (RYAN MILLER)**

179 Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad  
180 Holdings, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-  
181 acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned  
182 Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as  
183 150 Pecan Valley Drive, and take any action necessary.  
184  
185

186 Chairman Chodun asked the applicant to come forward.

187  
188 **Casey Orr**  
189 **121 S. Main Street**  
190 **Henderson, TX 75654**  
191

192 The applicant came forward and provided a brief summary in regards to the request. She advised that she had provided traffic counts from  
193 other restaurants as was requested at the previous meeting.  
194

195 Planning and Zoning Director Ryan Miller provided additional details in regards to the request. He added that Staff had begun to advertise  
196 the case again in accordance with the new application and has already received notices from the neighborhood that will be provided at  
197 the public hearing.  
198

199 Commissioner Thomas added that disclosure of the restaurant would've been nice the first time it was submitted. He also asked the  
200 applicant to consider losing the drive through option as it might help the case.  
201

202 Commissioner Fishman asked if what was pictured was what would be going in. Planning and Zoning Director Ryan Miller added that the  
203 elevations do not meet any of the Overlay (OV) District standards so what is pictured is not what will be going in.

204  
205 Commissioner Womble asked where the side screening would go.

206  
207 Commissioner Logan asked if the applicant was presenting the same case and only adding the use and an informal survey. She added  
208 that the neighbors might still feel nervous about the traffic.

209  
210 Commissioner Womble asked if this piece of land was intended to be Commercial. Mr. Miller explained that this piece of land was attached  
211 to the adjoining property and it has a floodplain running through the middle of it. The remaining piece of land is just the corner which is  
212 why they are struggling on how to utilize the land.

213  
214 Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the  
215 Commission for action at the next scheduled meeting on September 15, 2020.

216  
217 **10. Z2020-038 (HENRY LEE)**

218 Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit  
219 (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre tract of land identified  
220 as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned  
221 Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action  
222 necessary.

223  
224 Chairman Chodun asked the applicant to come forward.

225  
226 Ruben Segovia  
227 9512 Teagarden  
228 Dallas, TX 75217  
229

230 The applicant came forward and provided a brief summary in regards to the request. He explained that one of the primary issues they  
231 had with the land was that it needed a septic tank. In order for the construction to be approved, they needed to replat the lots to turn it  
232 into one (1) lot.

233  
234 Commissioner Logan asked if there was a sewer system located in the middle of Lake Rockwall Estates or why the applicant needed to  
235 have a septic system.

236  
237 Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the  
238 Commission for action at the next scheduled meeting on September 15, 2020.

239  
240 **11. SP2020-018 (DAVID GONZALES)**

241 Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Russell Phillips of Harbor LakePointe Investors,  
242 LLC for the approval of an Amended Site Plan for a 265-unit condominium development situated on a 7.58-acre tract of land identified as Lots 6A,  
243 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County,  
244 Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any  
245 action necessary.

246  
247 Chairman Chodun asked the applicant to come forward.

248  
249 Jimmy Strohmeier  
250 2701 Sunset Ridge  
251 Rockwall, TX 75032  
252

253 The applicant came forward and provided brief summary in regards to the request. He explained that the only difference with this building  
254 and the one previously presented was a color change. They are wanting to do this in order to distinguish the building from the adjacent  
255 condos.

256  
257 Planning and Zoning Manager David Gonzales advised that the Architectural Review Board (ARB) was forwarding a recommendation for  
258 approval on this case. Mr. Gonzales then added that the waivers and variances associated with this case will be discussed at the next  
259 meeting.

260  
261 Vice-Chairman Welch asked if this project would consist of condos or apartments.

262  
263 Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the  
264 Commission for action at the next scheduled meeting on September 15, 2020.

265  
266 **12. SP2020-020 (DAVID GONZALES)**

267 Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for the  
268 approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger  
269 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned

Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Jim Douglas  
2309 K Avenue  
Plano, TX 75074

Mr. Douglas came forward and provided a brief summary in regards to the request. He added that they had received comments from Staff and were in the process of addressing those. Mr. Douglas stated that the case would be presented the next week at the Parks Board meeting.

Planning and Zoning Manager David Gonzales added that this case was required to go before the Parks Board for a recommendation. Once a recommendation has been made for the case, then this item will more likely come back to the Commission on the Consent Agenda of the Public Hearing.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

13. **SP2020-022 (DAVID GONZALES)**

Discuss and consider a request by Kevin Lawson of Lawson Real Estate Holdings, LLC for the approval of a *Site Plan* for an *office building* on a 0.47-acre parcel of land identified as Lot 5, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1505 Airport Road.

Chairman Chodun asked the applicant to come forward,

Kevin Lawson  
207 Stonebridge Drive  
Rockwall, TX 75087

Mr. Lawson came forward and provided a brief summary in regards to the request. Their objective is to build a professional office space and would occupy about 60% of the building. They would move from Rowlett with existing staff as well.

Planning and Zoning Manager David Gonzales added that the Architectural Review Board (ARB) reviewed the case and would be forwarding a recommendation for approval. He also added that there would be a change in the elevations but ARB was okay with the change.

Planning and Zoning Director Ryan Miller added that there were no variances associated with the case so it will be located in the Consent Agenda at the Public Hearing.

Chairman Chodun asked about the number of Staff that Mr. Lawson would be bringing over from the previous office.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

14. *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2020-029: Preliminary Plat for RiverRock Trails Subdivision [NO ACTION TAKEN]
- Z2020-030: SUP for an *Accessory Building* for 1748 Lake Breeze Drive [APPROVED; 1<sup>st</sup> READING]
- Z2020-031: Zoning Amendment to Planned Development District 79 (PD-79) [APPROVED; 1<sup>st</sup> READING]
- Z2020-032: SUP for a *Residential Infill in an Established Subdivision* for 481 Blanche Drive [APPROVED; 1<sup>st</sup> READING]

Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting. He also thanked Tracey Logan and Annie Fishman for their time and service serving on the Planning and Zoning Commission.

VI. ADJOURNMENT

Chairman Chodun adjourned the meeting at 6:59 PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Eric Chodun, Chairman

Attest:

\_\_\_\_\_  
Angelica Gamez, Planning and Zoning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** September 15, 2020  
**APPLICANT:** Chad DuBose; JCDB Goliad Holdings, LLC  
**CASE NUMBER:** P2020-034; Lots 1, Block A, Pecan Valley Retail Addition

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### SUMMARY

Consider a request by Chad DuBose of JCDB Holdings, LLC for the approval of a Final Plat for Lots 1, Block A, Pecan Valley Retail Addition being a 2.356-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive and 3005 N. Goliad Street [SH-205], and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 2.356-acre tract of land (*i.e. Lot 1, Block A, Pecan Valley Retail Addition*) to establish the necessary easements and dedicate right-of-way (*i.e. 3,152 SF or 0.072-acres*) along N. Goliad Street for the purpose of allowing the construction of an approximately 11,000 SF single-story, multi-tenant retail building.
- On July 9, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-023] and all associated variances (*i.e. material and masonry composition and four (4) sided architecture*) for the retail building. Additionally, on October 9, 2019, the Architectural Review Board (ARB) approved a change in the color to the exterior materials of the approved building elevations [*i.e. SP2019-039*] from a light tan stone to a darker (*i.e. Austin Mist*) limestone.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for Lot 1, Block A, Pecan Valley Retail Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 3005 N. Goliad St

Subdivision Pecan Valley Retail

Lot 1 Block A

General Location Northwest corner of Goliad St and Pecan Valley Dr

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-65 w/ N SH 205 Overlay Current Use Vacant

Proposed Zoning PD-65 w/ N SH 205 Overlay Proposed Use Retail

Acreage 2.174 Lots [Current] 1 Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner JCDB Goliad Holdings, LLC  Applicant

Contact Person Chad DuBose Contact Person

Address 8350 N. Central Expressway Suite 1313 Address

City, State & Zip Dallas, TX 75206 City, State & Zip

Phone 214-701-8455 Phone

E-Mail chad@foremark.com E-Mail

## NOTARY VERIFICATION [REQUIRED]

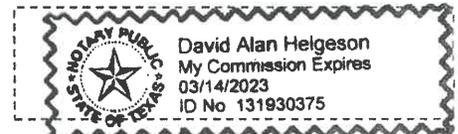
Before me, the undersigned authority, on this day personally appeared Cary L Albert [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 1st day of September, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

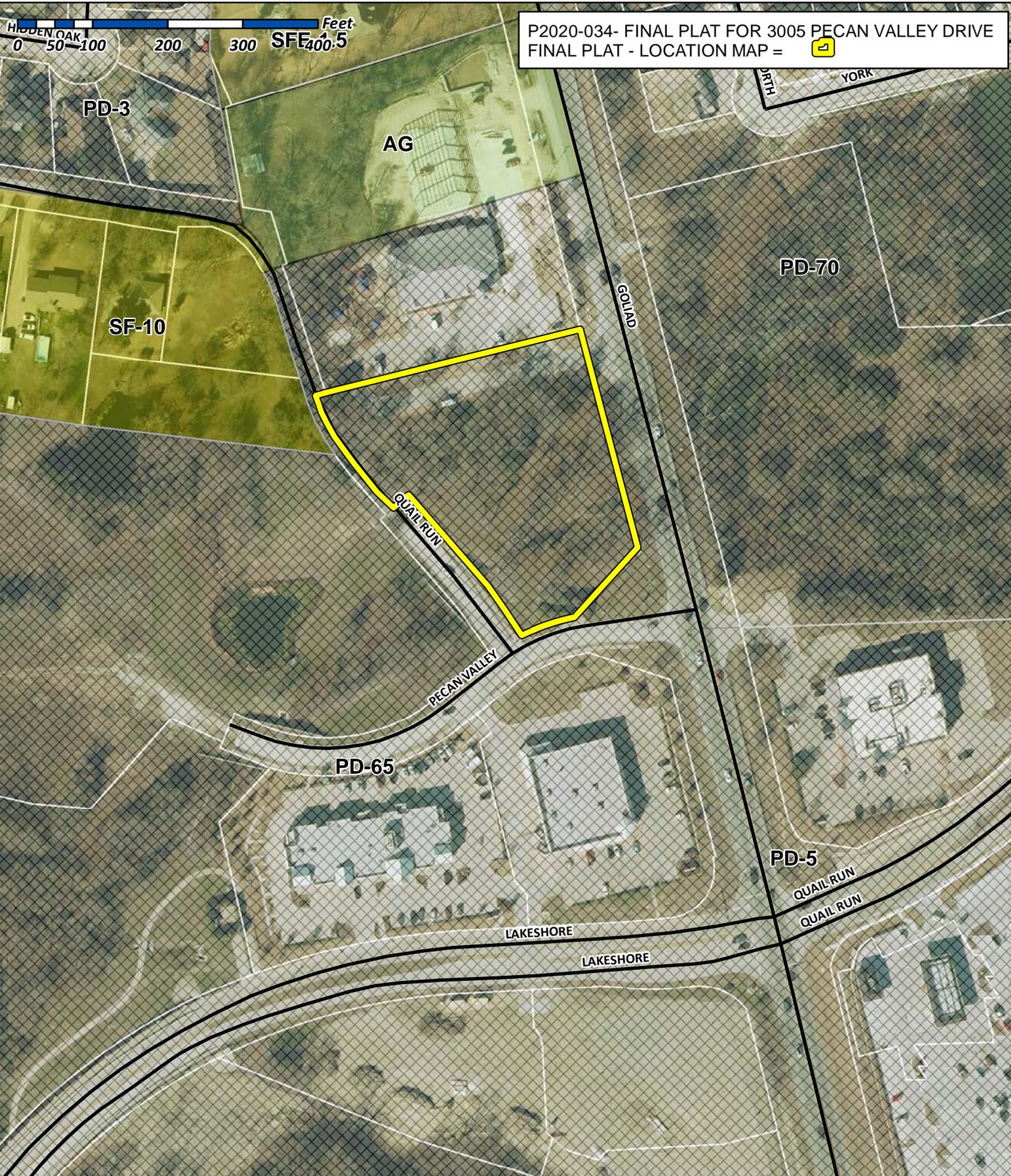
Given under my hand and seal of office on this the 1st day of September, 2020.

Owner's Signature

Notary Public in and for the State of Texas



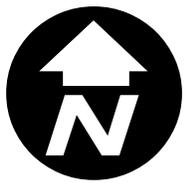
My Commission Expires 03/14/2023



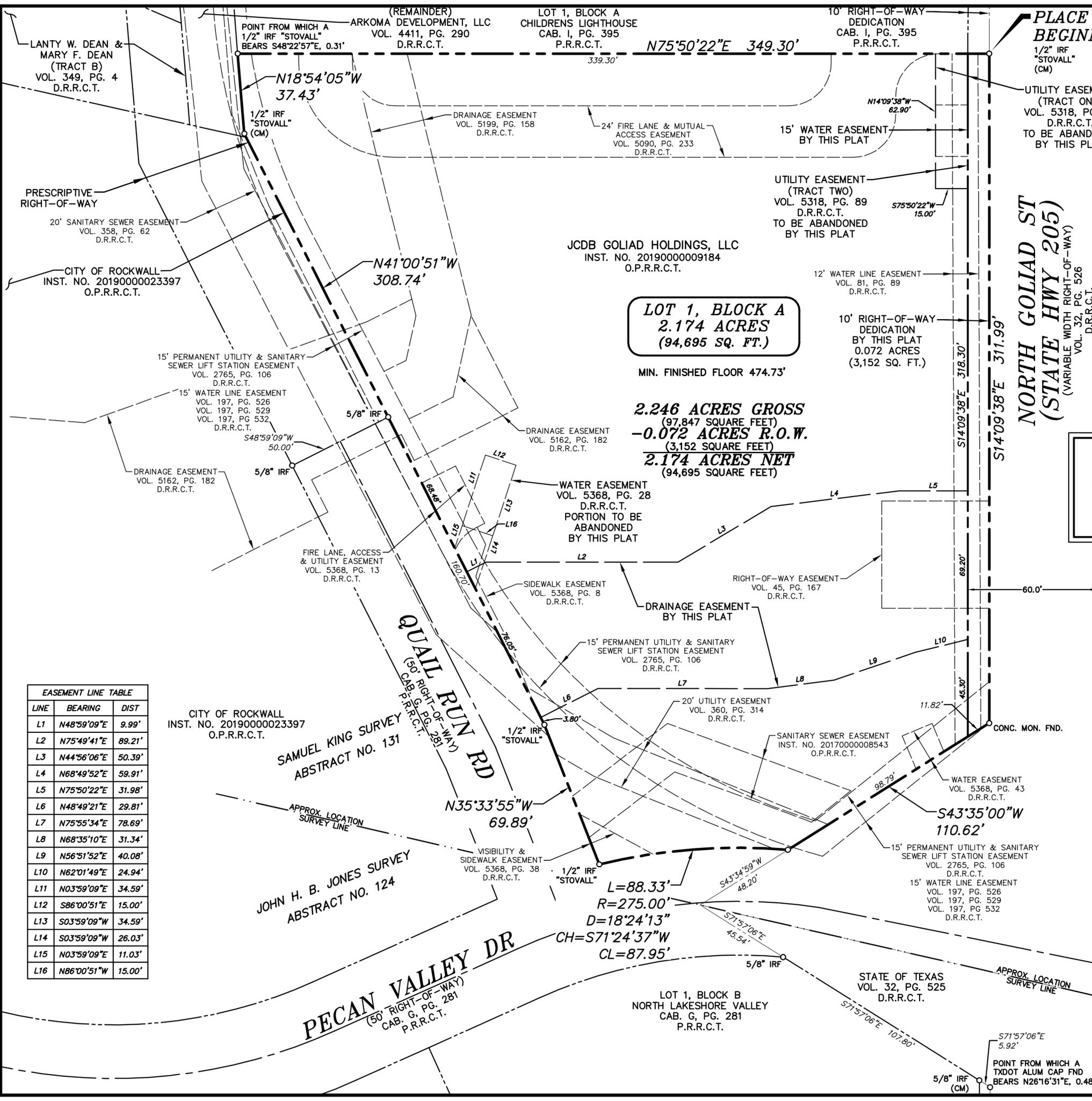
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PRINTED: 9/7/2020 STB FILE: WIER-SURVEY.STB LAST SAVED: 9/7/2020 2:48 PM SAVED BY: AARONLS FILE: FINAL-PLAT-19022.DWG BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



**LOT 1, BLOCK A**  
**2.174 ACRES**  
**(94,695 SQ. FT.)**

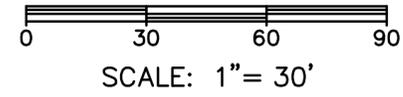
**2.246 ACRES GROSS**  
**(97,847 SQUARE FEET)**  
**-0.072 ACRES R.O.W.**  
**(3,152 SQUARE FEET)**  
**2.174 ACRES NET**  
**(94,695 SQUARE FEET)**

MIN. FINISHED FLOOR 474.73'

**PRELIMINARY**  
**FOR REVIEW PURPOSES ONLY**  
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

**\* LEGEND \***

L1	LINE IDENTIFIED IN LINE TABLE
C1	CURVE IDENTIFIED IN CURVE TABLE
(CM)	CONTROLLING MONUMENT
IRF	IRON ROD FOUND
IRS	IRON ROD SET
"WIER"	YELLOW CAP STAMPED "WIER & ASSOC INC"



**EASEMENT LINE TABLE**

LINE	BEARING	DIST
L1	N48°59'09"E	9.99'
L2	N75°49'41"E	89.21'
L3	N44°56'06"E	50.39'
L4	N68°49'52"E	59.91'
L5	N75°50'22"E	31.98'
L6	N48°49'21"E	29.81'
L7	N75°55'34"E	78.69'
L8	N68°35'10"E	31.34'
L9	N56°51'52"E	40.08'
L10	N62°01'49"E	24.94'
L11	N03°59'09"E	34.59'
L12	S86°00'51"E	15.00'
L13	S03°59'09"W	34.59'
L14	S03°59'09"W	26.03'
L15	N03°59'09"E	11.03'
L16	N86°00'51"W	15.00'

**OWNER / DEVELOPER**  
 JCDB GOLIAD HOLDINGS, LLC  
 8350 N. CENTRAL EXPY, SUITE 1313  
 DALLAS, TEXAS 75206  
 CONTACT: CHAD DUBOSE  
 PH: (214) 561-6522  
 EMAIL: CHAD@FOREMARK.COM

**ENGINEER / SURVEYOR**  
 WIER & ASSOCIATES, INC.  
 2201 E. LAMAR BLVD., SUITE 200E  
 ARLINGTON, TEXAS 76006  
 CONTACT: JAKE FEARS, P.E.  
 PH: (817) 467-7700  
 FAX: (817) 467-7713

**FINAL PLAT**  
**LOT 1, BLOCK A**  
**PECAN VALLEY RETAIL**

BEING A PORTION OF THE  
 SAMUEL KING SURVEY, ABSTRACT No. 131,  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CASE NUMBER SP2019-023  
 1 LOT 2.246 ACRES

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS LAND PLANNERS**  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com  
 Texas Board of Professional Land Surveying Registration No. 10033900

**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS JCDB GOLIAD HOLDINGS, LLC, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 2019000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL" IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID JCDB GOLIAD TRACT AND THE SOUTHEAST CORNER OF A 10-FOOT RIGHT-OF-WAY DEDICATION AS SHOWN ON THE PLAT OF LOT 1, BLOCK A, CHILDRENS LIGHTHOUSE, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET I, PAGE 395, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE S 14°09'38" E, ALONG THE EAST LINE OF SAID JCDB GOLIAD TRACT AND THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 311.99 FEET TO A CONCRETE MONUMENT FOUND;

THENCE S 43°35'00" W, ALONG A SOUTH LINE OF SAID JCDB GOLIAD TRACT AND CONTINUING ALONG THE WEST LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY), BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL", SAID IRON ROD BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

THENCE ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- 1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- 2) N 41°00'51" W, AT A DISTANCE OF 160.70 FEET PASSING A 5/8" IRON ROD FOUND, AND CONTINUING IN ALL A TOTAL DISTANCE OF 308.74 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- 3) N 18°54'05" W, 37.43 FEET TO A POINT, FROM WHICH A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL" BEARS S 48°22'57" E, 0.31 FEET, SAID POINT BEING THE NORTHWEST CORNER OF SAID JCDB GOLIAD TRACT AND THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK A, CHILDRENS LIGHTHOUSE;

THENCE N 75°50'22" E, ALONG THE NORTH LINE OF SAID JCDB GOLIAD TRACT AND THE SOUTH LINE OF SAID LOT 1, BLOCK A, CHILDRENS LIGHTHOUSE, 349.30 FEET TO A PLACE OF BEGINNING, AND CONTAINING 2.246 ACRES (97,847 SQUARE FEET) OF LAND, MORE OR LESS.

**PRELIMINARY  
FOR REVIEW PURPOSES ONLY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

**GENERAL NOTES:**

1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

**SURVEYOR'S CERTIFICATION:**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 6373 ON September 7, 2020. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."

AARON L. STRINGFELLOW  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 6373  
EMAIL: AaronLS@WierAssociates.COM

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 1, BLOCK A, PECAN VALLEY RETAIL TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOT 1, BLOCK A, PECAN VALLEY RETAIL HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
4. THE DEVELOPER AND ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR  
UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR  
UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.
7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ANY DRAINAGE SYSTEMS IN EASEMENTS.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

WITNESS OUR HANDS THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020:

FOR: JCDB GOLIAD HOLDINGS, LLC

OWNER \_\_\_\_\_

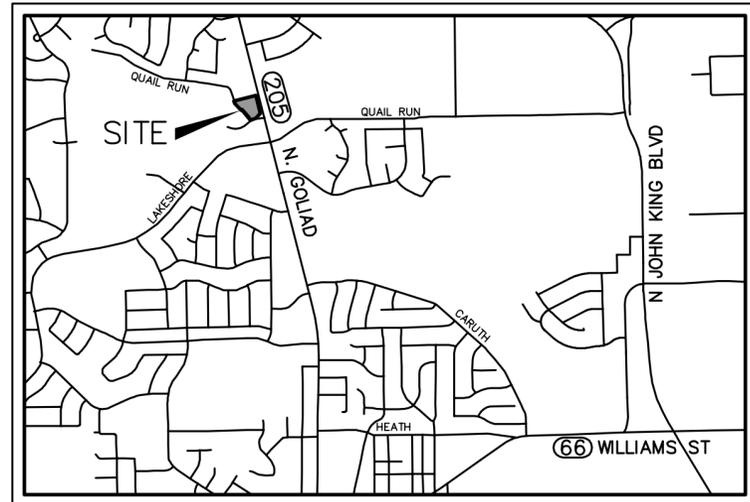
STATE OF TEXAS  
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ OF JCDB GOLIAD HOLDINGS, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PRINTED NAME \_\_\_\_\_



VICINITY MAP  
NOT TO SCALE

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MAYOR, CITY OF ROCKWALL \_\_\_\_\_ CITY SECRETARY \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_

**OWNER / DEVELOPER**  
JCDB GOLIAD HOLDINGS, LLC  
8350 N. CENTRAL EXPY, SUITE 1313  
DALLAS, TEXAS 75206  
CONTACT: CHAD DUBOSE  
PH: (214) 561-6522  
EMAIL: CHAD@FOREMARK.COM

**ENGINEER / SURVEYOR**  
WIER & ASSOCIATES, INC.  
2201 E. LAMAR BLVD., SUITE 200E  
ARLINGTON, TEXAS 76006  
CONTACT: JAKE FEARS, P.E.  
PH: (817) 467-7700  
FAX: (817) 467-7713

**FINAL PLAT  
LOT 1, BLOCK A  
PECAN VALLEY RETAIL**

BEING A PORTION OF THE  
SAMUEL KING SURVEY, ABSTRACT No. 131,  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CASE NUMBER SP2019-023  
1 LOT 2.246 ACRES

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com  
Texas Board of Professional Land Surveying Registration No. 10033900



TO: Planning and Zoning Commission  
DATE: September 15, 2020  
APPLICANT: Todd Winters; *Engineering Concepts & Design, LP*  
CASE NUMBER: SP2020-020; *Site Plan for Terracina Estates Subdivision, Phase 1*

---

### SUMMARY

Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for the approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochell Road south of SH-276, and take any action necessary.

### BACKGROUND

The *subject property* was annexed into the City on July 21, 1997 by *Ordinance No. 97-14*. It is located on the west side of Rochell Road, south of SH-276, adjacent to the Timber Creek Estates Subdivision. On June 20, 2016, the City Council approved a request to rezone an 81.49-acre portion of the subject property from an Agricultural (AG) District to Planned Development District 82 (PD-82) [*Ordinance No. 16-43*] for a single-family residential subdivision that would consist of 204 single-family lots [*Case No. Z2016-013*]. On September 15, 2017, the owner of the subject property requested to amend Planned Development District 82 (PD-82) by proposing to incorporate an additional 59.065-acre tract of land into the existing 81.49-acre tract of land to create a 140.55-acre single-family, residential development. This request was denied by the City Council on November 6, 2017 [*Case No. Z2017-046*]; however, on November 28, 2017, the Planning and Zoning Commission approved a request allowing the applicant to resubmit a zoning application request based on there being a substantial change to the original request. The substantial change proposed by the applicant in this case was the incorporation of an additional 39-acres of open space (*i.e. the antenna tower park*), providing larger lots adjacent to the existing single-family housing, and adding an additional 2.24-acre private park. This new request changed the overall density of the development reducing it from 2.5 units per acre to 1.5 units per acre. On January 2, 2018, the City Council approved the amendment to Planned Development District 82 (PD-82) via *Ordinance No. 18-08* [*Case No. Z2017-063*]. The final Planned Development District consists of 179.831-acres and 352 single-family residential lots.

### PURPOSE

On August 14, 2020, the applicant -- *Todd Winters of Engineering Concepts and Design, LP* -- submitted an application requesting approval of a site plan for the purpose of developing Phase 1 of the Terracina Estates. This phase of the subdivision will consist of 110 single-family residential lots on 50.154-acres. The site plan depicts the proposed amenities and landscaping associated with the 8.24-acre public park, and the hardscape and entry signage plans for the proposed development. The Terracina Estates Subdivision is a three (3) phase master planned community consisting of a total of 352 single-family lots.

### ADJACENT LAND USES AND ACCESS

The subject property is situated on the west side of Rochell Road, south of SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the *subject property* are the Sterling Farms and Timber Creek Subdivisions. These properties are zoned Single Family Estate (SFE-1.5) and Single Family 10 (SF-10) Districts.

South: Directly south of the *subject property* is a portion of Phase II of the Fontana Ranch Subdivision and the corporate limits of the City of Rockwall. This subdivision is zoned Planned Development District 64 (PD-64) for Single-Family 16 (SF-16) District land uses.

East: Directly east of the *subject property* is Rochell Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall corporate limits.

West: Directly west of the *subject property* and adjacent to the 39.26-acre tract of land containing multiple radio tower antennas, are several single-family homes situated on large lots that are zoned Agricultural (AG) District and Single-Family Estate 4.0 (SFE-4.0) District. Also adjacent to the southern portion of the antenna tower site are Phases I & II of the Fontana Ranch Subdivision, which are zoned Planned Development District 64 (PD-64) for Single-Family 16 (SF-16) District land uses.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

Phase 1 of the Terracina Estates Subdivision will be 50.154-acres of land that will consist of 110 single-family residential lots. This phase of the development will consist of three (3) lot types: [1] *Lot Type ‘A’* being 65’ x 125’ or a minimum of 8,125 SF, [2] *Lot Type ‘B’* being 80’ x 125’ or a minimum of 10,000 SF, and [3] *Lot Type ‘C’* being 80’ x 125’ or a minimum of 12,000 SF. This phase will consist of 296 *Lot Type ‘A’* lots and 56 *Lot Type ‘B’* & *‘C’* lots. The proposed minimum size of each dwelling unit for the *Lot Type ‘A’* lots will be 1,800 SF and *Lot Types ‘B’* & *‘C’* will be 2,000 SF. These will be constructed using a minimum of 80% masonry, with up to 50% cementitious fiberboard (*e.g. HardiBoard or Hardy Plan*) and stucco; however, stucco (*i.e. three [3] part stucco or a comparable product -- to be determined by staff*) shall be permitted only with the approval of a Specific Use Permit (SUP). The proposed garage orientation for Phase 1 requires a minimum of 30% of the garages to be oriented in a *traditional swing or j-swing configuration*. The remainder of the garages may be in a *front entry* configuration where the garage is flush with or recessed behind the front façade of the home. Driveways will have a minimum length of 25-feet. As a note, garage doors are required to be cedar construction. Garages not meeting these requirements are to meet the standards outlined in Subsection 04.01(B) of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). The gross density for PD-82 is 1.96 dwelling units per acre. Additionally, the plan will consist of 13.36-acres of open space (*or ~26.6% of total land area*), which includes an 8.24-acre public park that will be fully developed with Phase 1. Amenities for the public park include a pavilion, playground, park benches, exercise station, and an eight (8)-foot trail system. The submitted site plan, generally conforms to the technical requirements contained within the UDC for a property located within Planned Development District 82 (PD-82). A summary of the density and dimensional requirements for the subject property are as follows:

Table 1: Density & Dimensional Standards

<i>Lot Type (see Concept Plan) ►</i>	<i>A</i>	<i>B</i>	<i>C</i>
<i>Minimum Lot Width (1) &amp; (5)</i>	65'	80'	80'
<i>Minimum Lot Depth</i>	125'	125'	125'
<i>Minimum Lot Area</i>	8,125 SF	10,000 SF	25,000 SF
<i>Minimum Front Yard Setback (2)</i>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street) (2)</i>	10'	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height (3)</i>	36'	36'	36'
<i>Minimum Rear Yard Setback (4)</i>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF)</i>	1,800 SF	2,000 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
- 4: As measured from the rear yard property line.
- 5: Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

## PARKS AND RECREATIONS BOARD RECOMMENDATION

On September 1, 2020, the Parks and Recreation Board reviewed the site plan, and made a motion to recommend approval of the site plan with the stipulation that the proposed 8.24-acre public park and amenities be constructed to City standards and that the Parks and Recreation Department be responsible for the maintenance of the park. Additionally, the Board recommended that the design of the park include the specific amenities as outlined in *Ordinance No. 18-08 (i.e. PD-82)*. This motion passed by a vote of 6-1, with Board Member Dodd dissenting.

## CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request to site plan *Phase 1* of the *Terracina Estates Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within Planned Development District 82 (PD-82) [i.e. *Ordinance No 18-08*];
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. SP2020-020

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision

Lot

Block

General Location West of Rochelle Road and south of Timber Creek Estates Neighborhood

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD - 82

Current Use VACANT

Proposed Zoning PD - 82

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 50.154

Lots [Current]

Lots [Proposed] 110

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BLOOMFIELD HOMES LP

Applicant ENGINEERING CONCEPTS & DESIGN, LP

Contact Person CLINT VINCENT

Contact Person TODD WINTTERS

Address 1050 E. HIGHWAY 114

Address 201 WINDCO CIRCLE

SUITE 114

SUITE 201

City, State & Zip SOUTH LAKE, TEXAS 76092

City, State & Zip WYLIE, TEXAS 75098

Phone 817-416-1572

Phone 972-941-8400

E-Mail don@bloomfieldhomes.net

E-Mail todd@ecdip.com

### NOTARY VERIFICATION [REQUIRED]

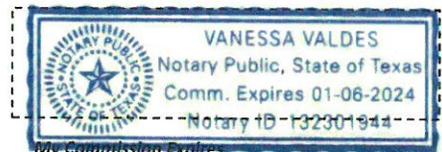
Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 13<sup>th</sup> day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13<sup>th</sup> day of August, 20 20.

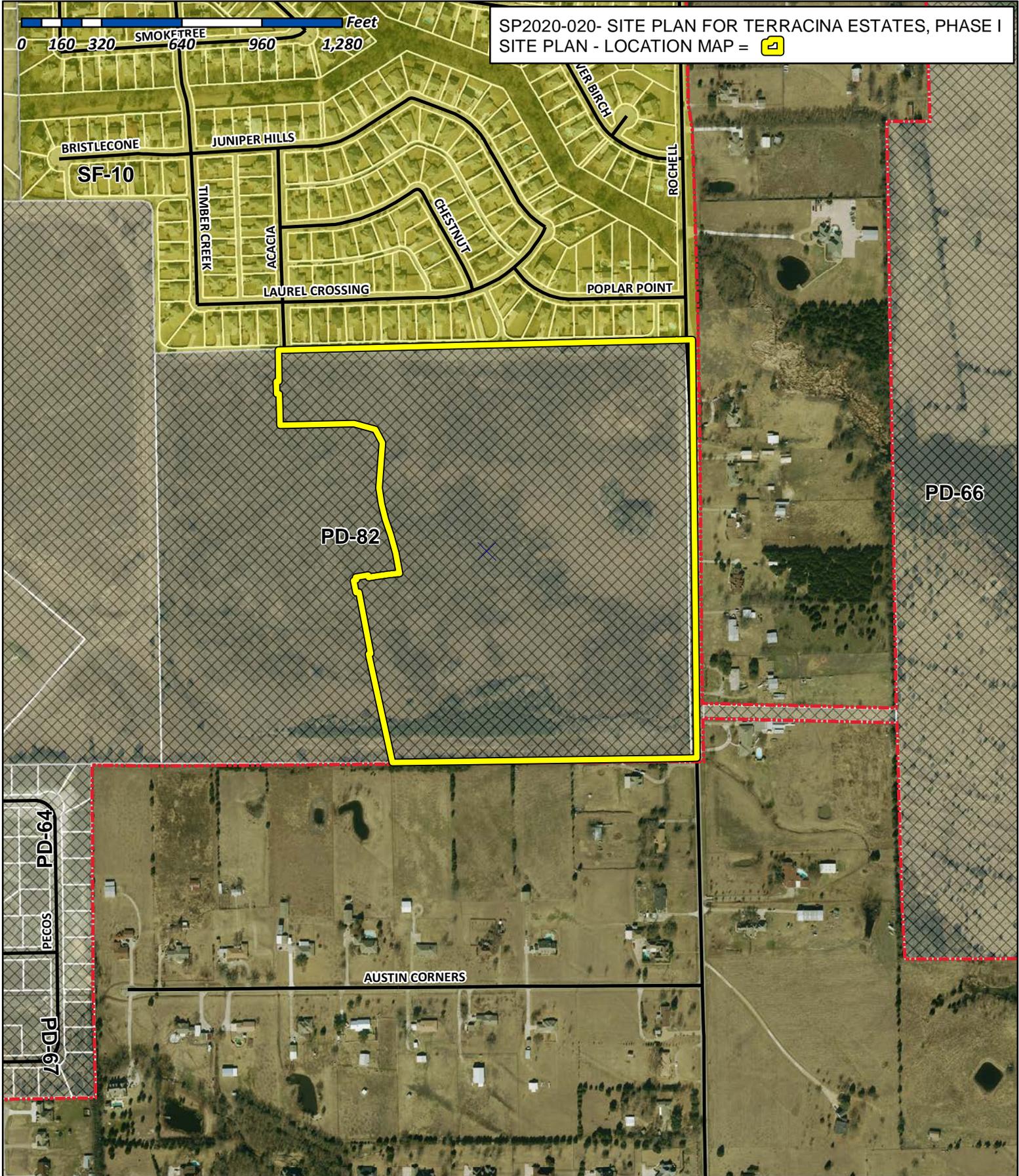
Owner's Signature

Notary Public in and for the State of Texas





SP2020-020- SITE PLAN FOR TERRACINA ESTATES, PHASE I  
 SITE PLAN - LOCATION MAP =

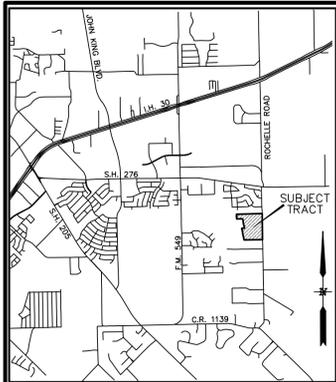


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



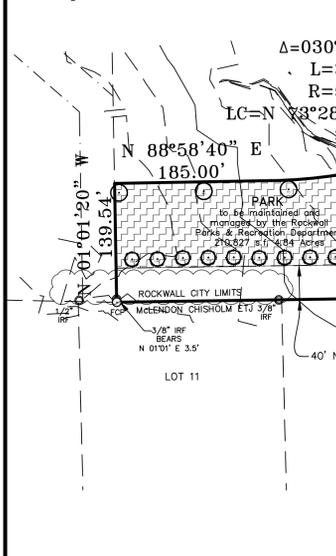


VICINITY MAP  
N.T.S.

- LEGEND
- IRF IRON ROD FOUND
  - CRS 5/8 INCH IRON ROD SET WITH ADAMS SURVEYING COMPANY LLC CAP
  - FCP FENCE CORNER POST FOUND
  - D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY TEXAS
  - P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY TEXAS
  - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
  - B.L. BUILDING SETBACK LINE
  - U.E. UTILITY EASEMENT
  - D.E. DRAINAGE EASEMENT
  - R.W.E. RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
  - S.V.E. SIDEWALK & VISIBILITY EASEMENT
  - HOA HOMEOWNERS' ASSOCIATION
  - MFFE MINIMUM FINISHED FLOOR ELEVATION
  - SPC STATE PLANE COORDINATES
  - INDICATES CHANGE IN STREET NAME

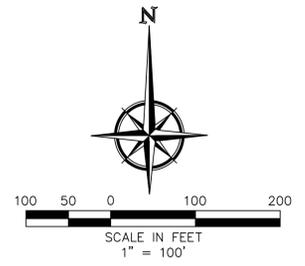
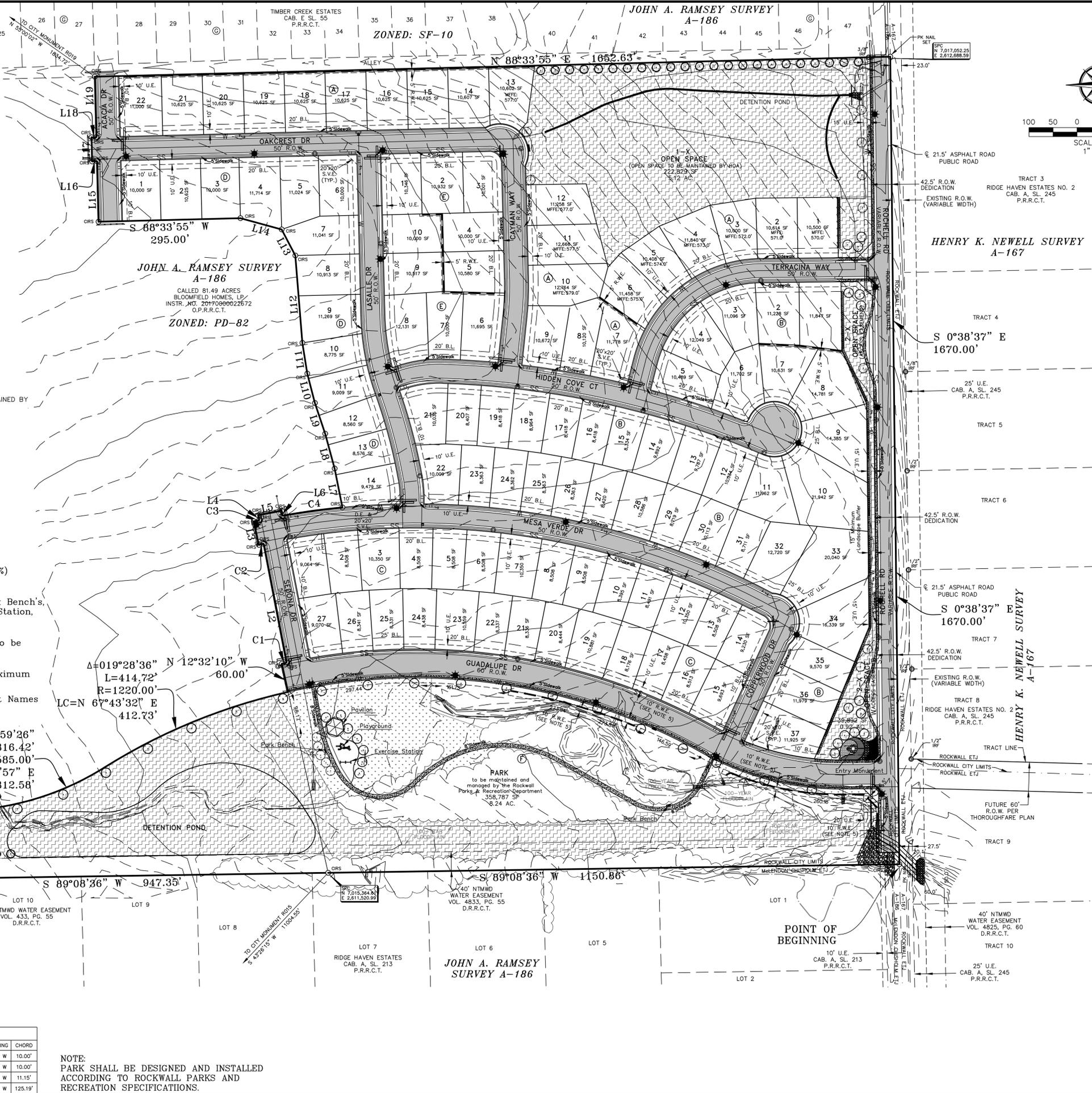
TERRACINA ESTATES PHASE 1  
SITE PLAN DATA

- a. 50.154 Acres
- b. PD-82 Zoning
- c. 110 Dwelling Units
- d. 14.28 Acres Open Space/Park(28%)
- e. Amenities within Subdivision:  
1-Pavilion, 1-Playground, 2-Park Benches,  
2-Trash Receptacle, 1-Exercise Station,  
and a 8' Trial
- f. All Common Areas/Open Space to be maintained by the H.O.A.
- g. \* Denotes Street Lights 20' Maximum Height
- h. T Denotes Stop Sign & Street Names



CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	000°26'52"	1280.00'	5.00'	10.00'	S 77°41'16" W	10.00'
C2	000°22'28"	1530.00'	5.00'	10.00'	S 77°54'26" W	10.00'
C3	000°24'15"	1580.00'	5.57'	11.15'	S 77°55'20" W	11.15'
C4	004°32'28"	1580.00'	62.65'	125.23'	S 82°12'29" W	125.19'

NOTE:  
PARK SHALL BE DESIGNED AND INSTALLED  
ACCORDING TO ROCKWALL PARKS AND  
RECREATION SPECIFICATIONS.



- TERRACINA ESTATES PHASE 1  
PLANT LEGEND
- 18 - 4" LIVE OAK
  - 25 - 4" RED OAK
  - 5 - 4" CEDAR ELM
  - 11 - 4" BALD CYPRESS
  - 33 - 4" EASTERN RED CEDAR
  - 516,123 - S.F. BERMUDA SOD
  - 68,700 - TIF TUF SOD
  - 112 - DWARF BURFORD HOLLY
  - 89 - ELAEAGNUS
  - 89 - DWARF WAX MYRTLE
  - 510 - MEXICAN FEATHER GRASS
  - 380 - WEEPING LOVE GRASS
  - 615s.f. - BLACK STAR CRUSHED STONE
  - 500s.f. - TEXAS RIVER ROCK MIX
  - 1 - OKLAHOMA MOSS ROCK BOULDER
- Existing Trees to be Protected

BENCHMARKS:

- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive Elevation = 559.95
- CP 103 - "X" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'
- CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'
- CP 105 - Capped 5/8" Iron rod east side of Rochelle Road & 826' south of the center of Polar Point Dr. Elevation = 568.75'

LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 89°08'49" W	35.63'
L2	N 10°58'09" W	250.04'
L3	N 12°16'48" W	50.00'
L4	N 10°58'09" W	10.20'
L5	N 79°01'51" E	50.00'
L6	S 10°58'09" E	10.20'
L7	N 11°22'18" W	81.90'
L8	N 15°12'53" W	74.64'
L9	N 18°37'29" W	67.02'
L10	N 14°35'37" W	62.88'
L11	N 9°02'55" W	64.32'
L12	N 4°38'17" W	181.25'
L13	N 27°50'10" W	60.72'
L14	N 74°39'57" W	88.77'
L15	N 1°26'05" W	125.00'
L16	S 88°33'55" W	10.00'
L17	N 1°26'05" W	50.00'
L18	N 88°33'55" E	10.00'
L19	N 1°26'05" W	125.00'

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2020.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2020.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

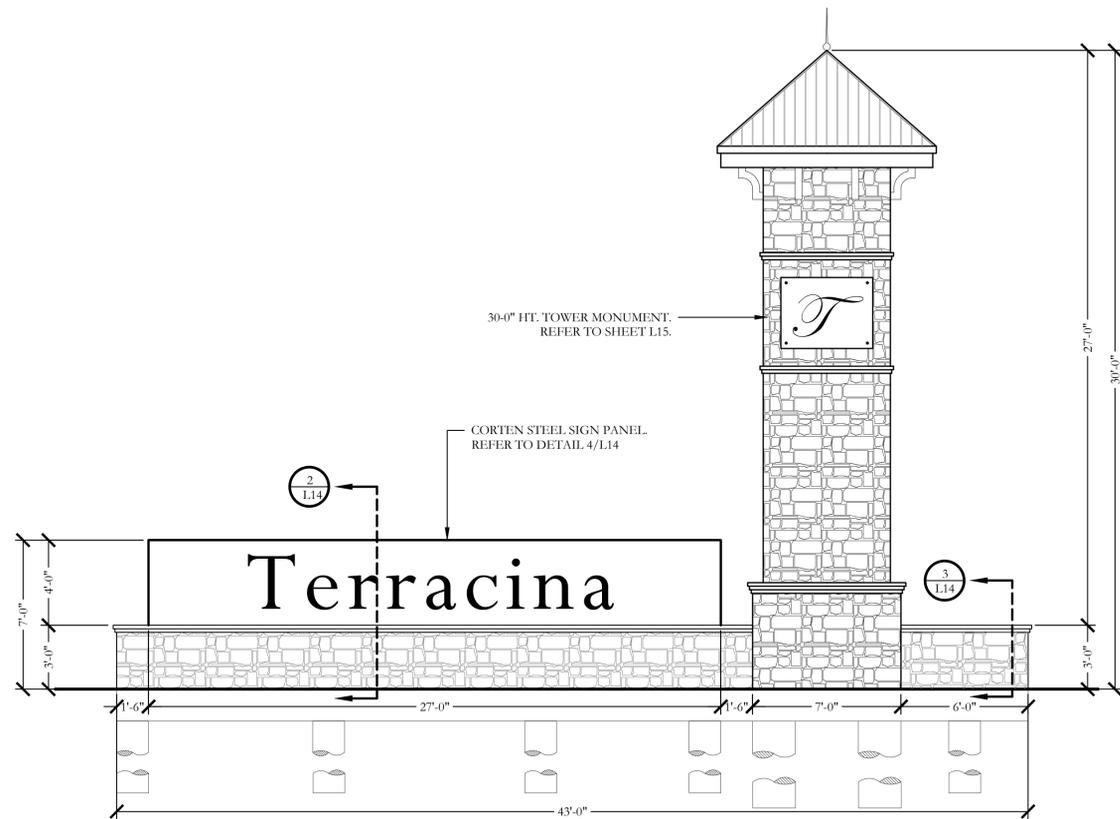
PD SITE PLAN  
Case No. SP2020-020  
TERRACINA ESTATES, PHASE 1  
BEING  
50.154 ACRES  
SITUATED IN THE  
JOHN A. RAMSEY SURVEY, A-186  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER  
**BLOOMFIELD HOMES L.P.**  
1050 E. HWY. 114, SUITE 210  
SOUTHLAKE, TEXAS 76092  
PHONE: 817-416-1572

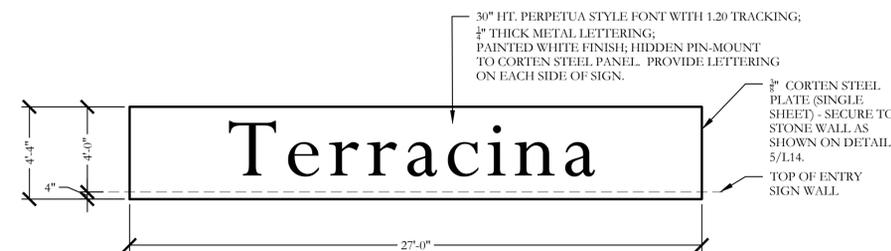
LAND SURVEYOR  
**ADAMS SURVEYING CO., LLC**  
1475 RICHARDSON DR., STE 255  
RICHARDSON, TX 75080  
(214) 395-9386  
FAX (214) 295-9844  
TBPELS FIRM NO. 101775000

**ENGINEERING CONCEPTS & DESIGN, L.P.**  
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES  
TEXAS FIRM REG. NO. 001145  
201 WINDCO CIRCLE, SUITE 200, WYLLIE TEXAS 76098  
(972) 941-8400 FAX (972) 941-8401

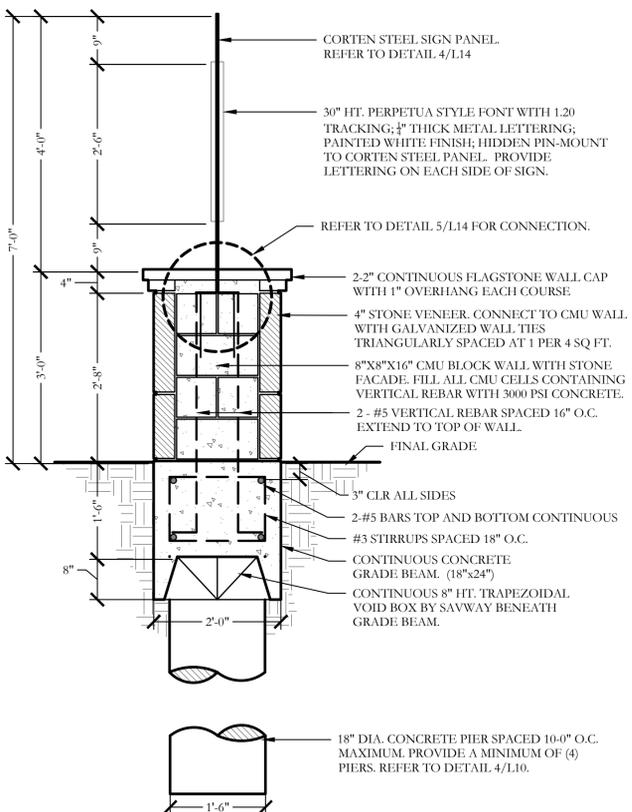
DATE: September 01, 2020 CASE NO. 2020-020 SHEET 1 OF 1  
06537(DWG)6537 Final Plat Ph. 1.dwg



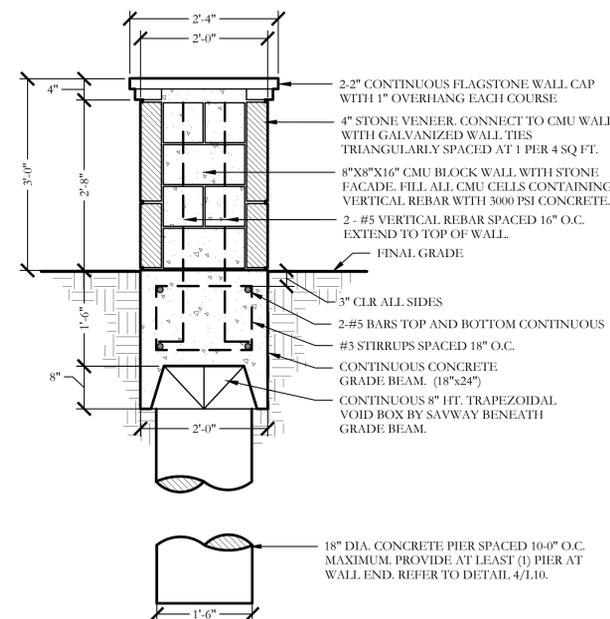
1 MAIN ENTRY MONUMENT ELEVATION SCALE: 1/4" = 1'-0"



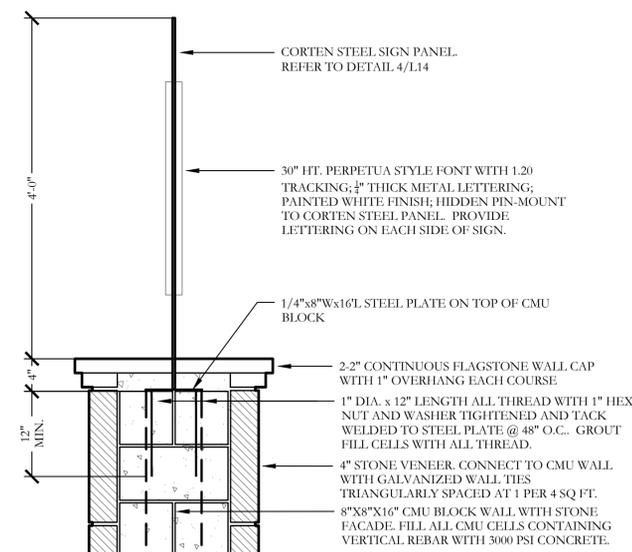
4 CORTEN STEEL SIGN PANEL ELEVATION SCALE: 1/4" = 1'-0"



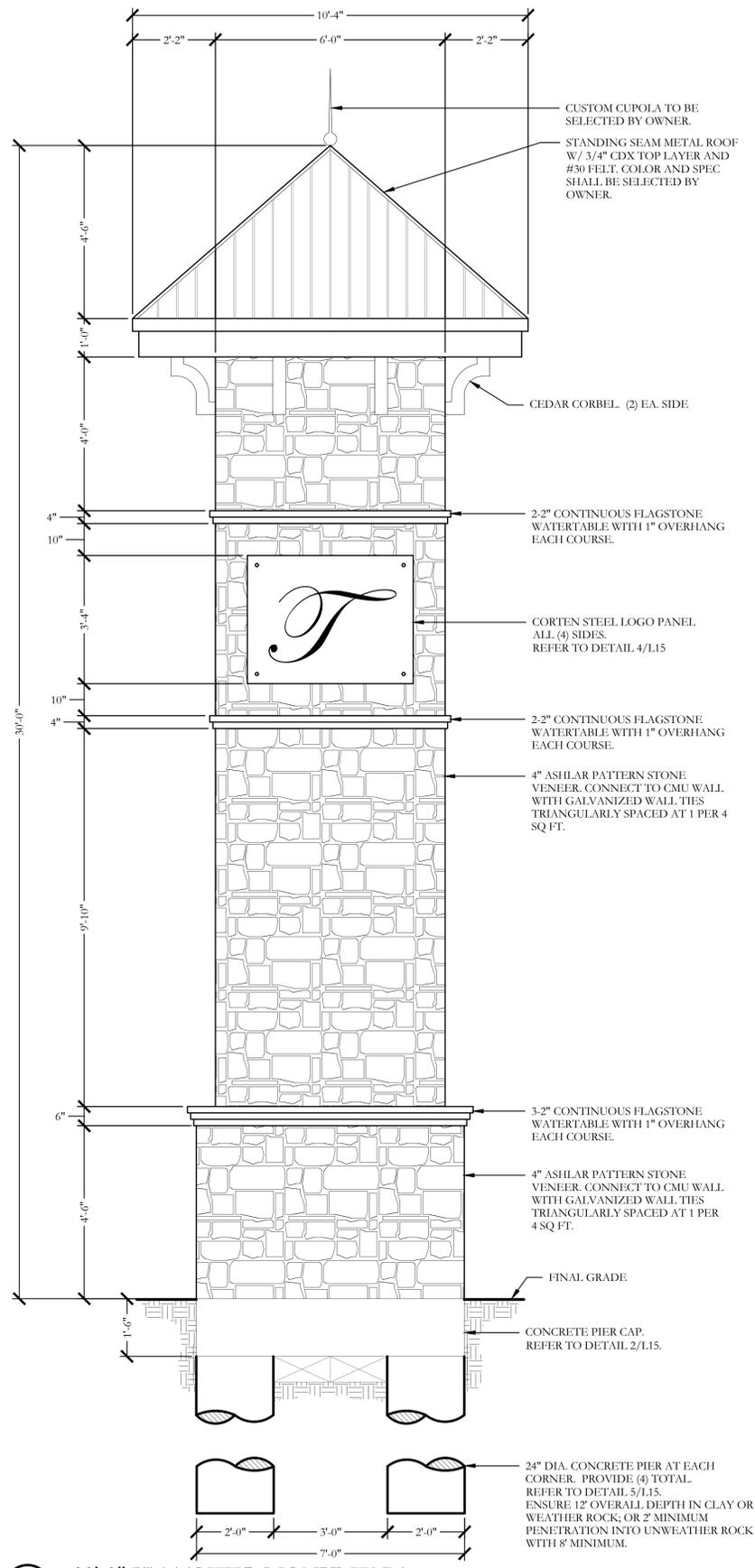
2 7'-0" MAIN ENTRY SIGN WALL SECTION SCALE: 3/4" = 1'-0"



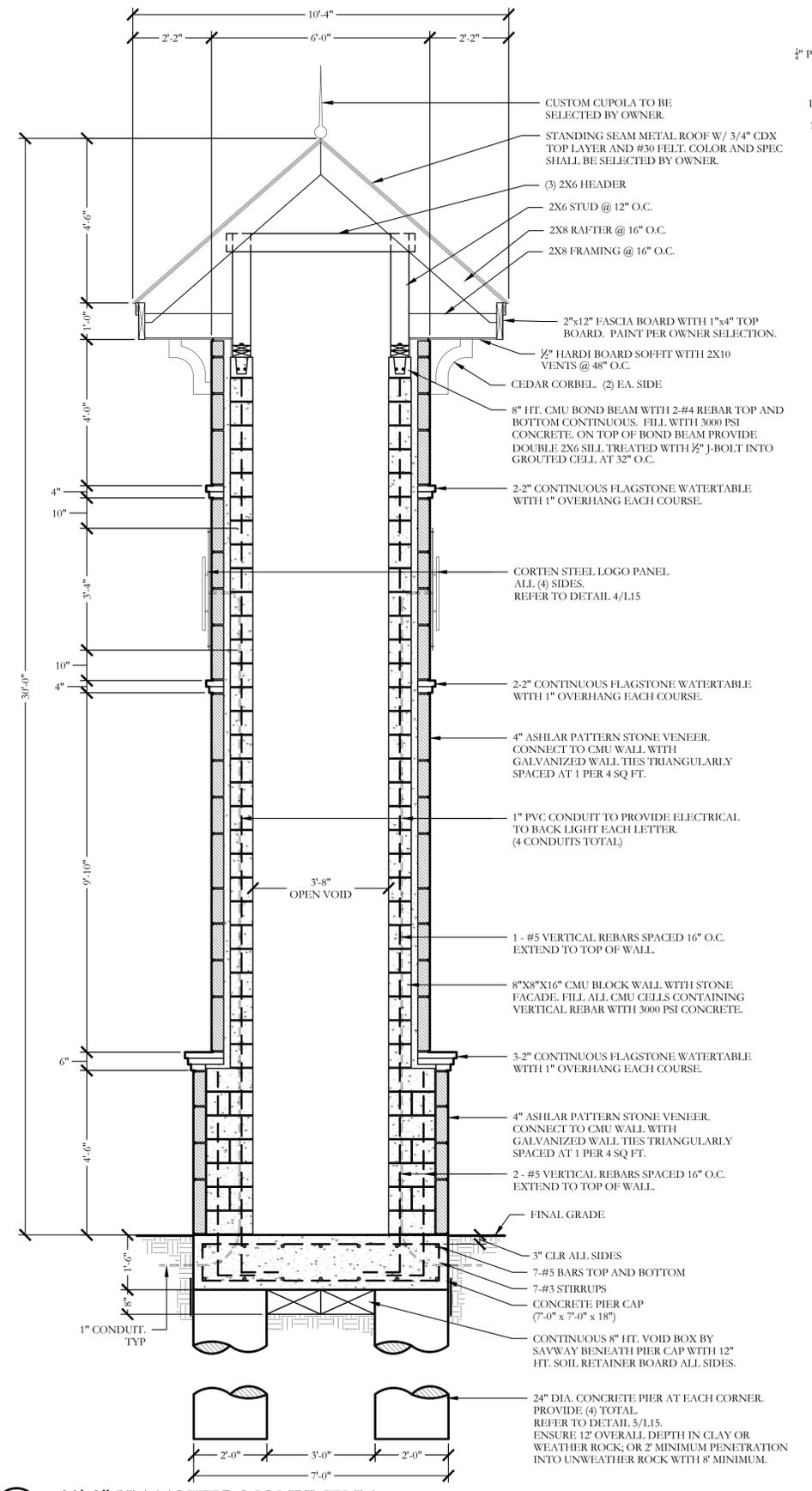
3 3'-0" MAIN ENTRY WALL SECTION SCALE: 3/4" = 1'-0"



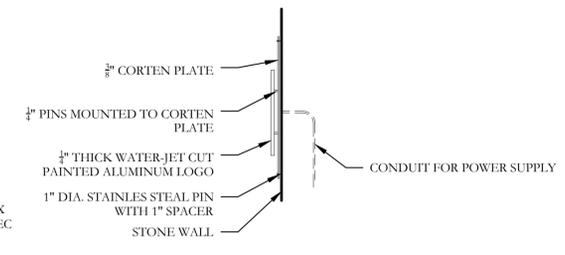
5 SIGN PANEL CONNECTION SECTION SCALE: 1" = 1'-0"



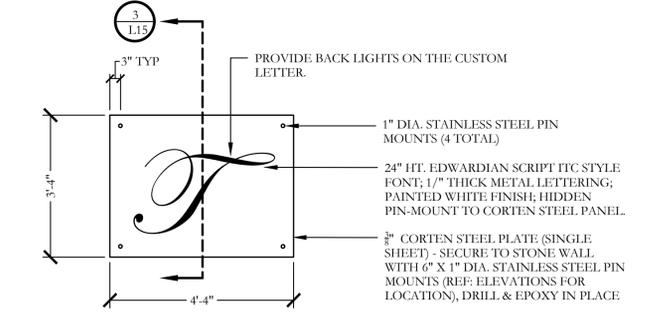
1 30'-0" HT. TOWER MONUMENT  
ELEVATION  
SCALE: 1/2" = 1'-0"



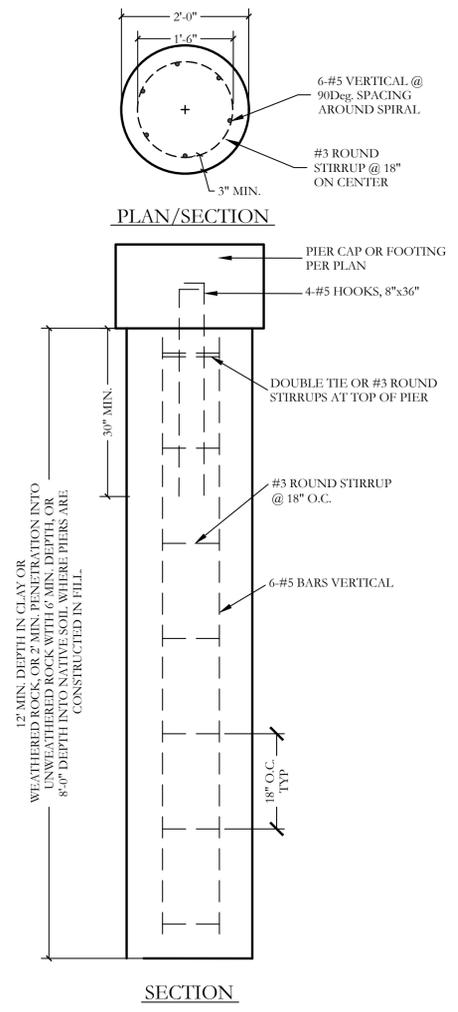
2 30'-0" HT. TOWER MONUMENT  
SECTION  
SCALE: 1/2" = 1'-0"



3 CORTEN STEEL LOGO PANEL  
SECTION  
SCALE: 1/2" = 1'-0"



4 CORTEN STEEL LOGO PANEL  
ELEVATION  
SCALE: 1/2" = 1'-0"



5 PIER (24" DIA.)  
SECTION  
SCALE: 3/4" = 1'-0"

Model: Steelworx Octagonal Shelter w/ Vented Top, 40'  
Model # OC-40-SW-VT-612-TG-10E-CP

**Manufacturing Mission:** To provide all prefabricated components and installation instructions for a 40' octagonal (measured from eave to eave) free standing bolt together, tubular steel constructed shelter kit.

**Design Criteria:** Structure is typically designed for a 25 lb live load and a 90 mph wind load capacity, but can be designed based on specific site requirements upon request. All structural members are ASTM A-500 U.S. grade B steel. Welded connection plates shall be ASTM A-36 hot rolled steel. All fabrication performed to latest AISC standards by AWS Certified welders. All framing connections are done using A325 grade bolts within concealed access openings from above and will later be concealed by the roofing. All roof framing shall be flush against the roof decking to eliminate the possibility of bird nesting.

**Tubular Steel Columns and Beams:** Standard column dimension shall be 7" x 7" x 3/16" tubular steel welded to 5/8" base plates for surface mounting. Main support beams are 10" x 6" x 3/16" and purlins are between 6" x 4" x 3/16" to 5" x 3" x 1/8". Steel sizes are preliminary and may change due to ongoing review and final engineering.

**Roof Deck:** 2" x 6" (nominal) #1 Grade, end matched, single tongue and groove with V-joint bottom face, kiln-dried to an average of 15% moisture content, Southern Yellow Pine.

**Roofing:** 24 Ga. pre-cut steel Multi-Rib panels with Kynar 500 finish in a variety of colors with white underside. Roof slope is a 6/12 pitch with a eave height of 10'-0". Attached to structural framing with exposed screws painted to match roof color. Matching 24 Ga. trim included.

**Frame Finish:** All steel framework will receive a corrosion protective TGIC Polyester powder coat, electro-statically applied and cured at 400°F. A large selection of standard colors are available.

**Foundation:** All columns need to be anchored to concrete footings (footing design provided separately). Columns can be surface mounted to footings with anchor bolts at or below finish slab elevation or they can be embedded directly into the footing without base plates upon request. Anchor bolts and bracing templates are included. Optional base plate covers are available at an additional cost.

**Hardware:** All structural hardware and roofing fasteners shall be provided.

**Warranty:** 10 years against manufacturer defects.

**Not Included:** Concrete work of any kind, unloading of product and installation.

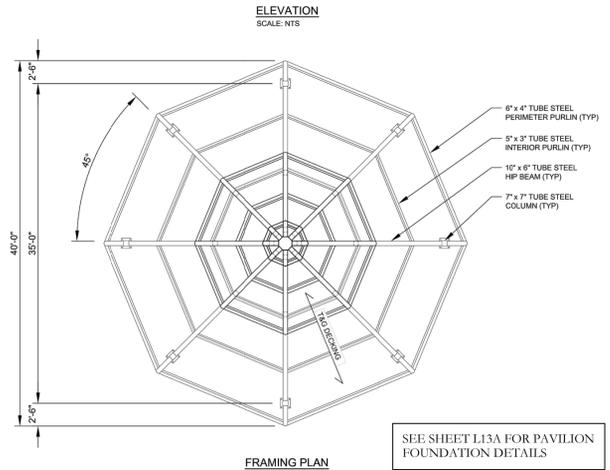
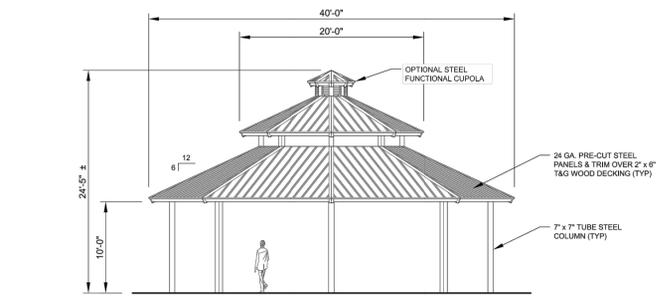
**Additional Options:**

- Flexibility of Design
- Such as: Height and Pitch
- Additional Engineering
- Variety of Colors
- Decorative Railings, Lattice, Braces, Trim, etc.
- Cupolas and Rooftop Accs.
- Column Style Variations
- Provisions for Electrical
- Lexan Wind Screens
- Tongue & Groove Roof Decking
- Asphalt Shingles, Standing Seam, Cedar Shake, or Clay Tile Roofing
- Composite Finished Ceiling
- Site Furnishings and Accs.
- Solar Panels & Solar Lighting



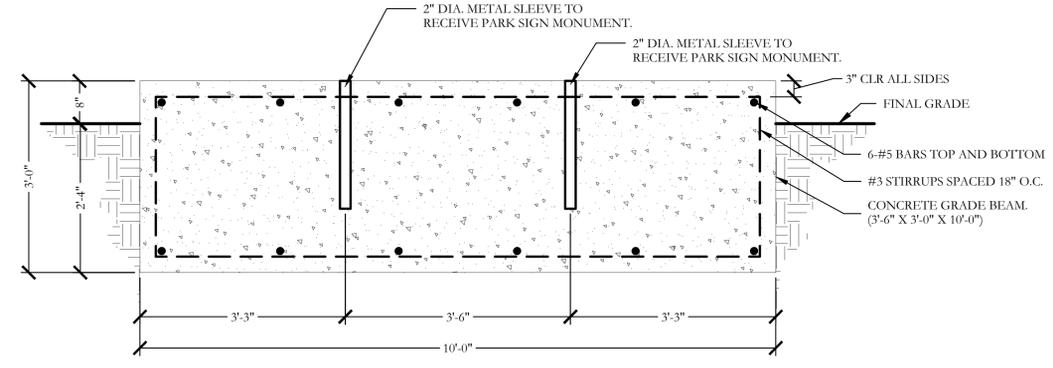
11800 East 9 Mile Road  
Warren, MI 48093  
Office: (586) 486-1088  
Fax: (586) 724-9130  
Toll Free: (800) 657-6118  
Email: info@coverworx.net  
www.CoverWorx.net

Steelworx Octagonal Shelter w/ Vented Top - 40'  
Model: OC-40-SW-VT-612-TG-10E-CP  
DESIGN SPECIFICATIONS



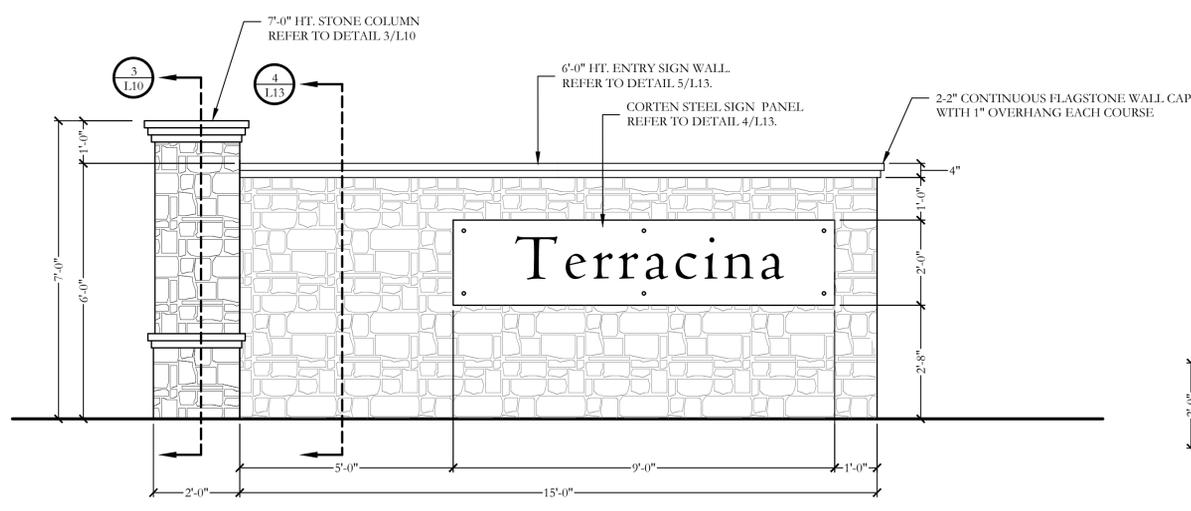
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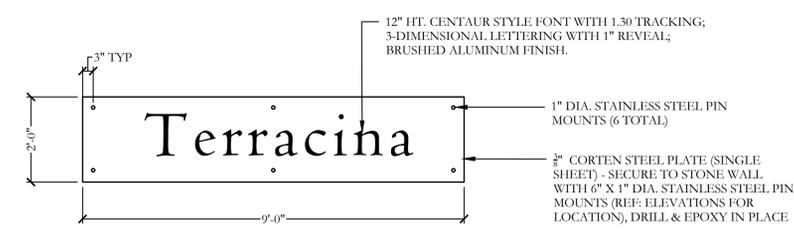


3 PARK SIGN BASE SECTION  
SCALE: 3/4"=1'-0"

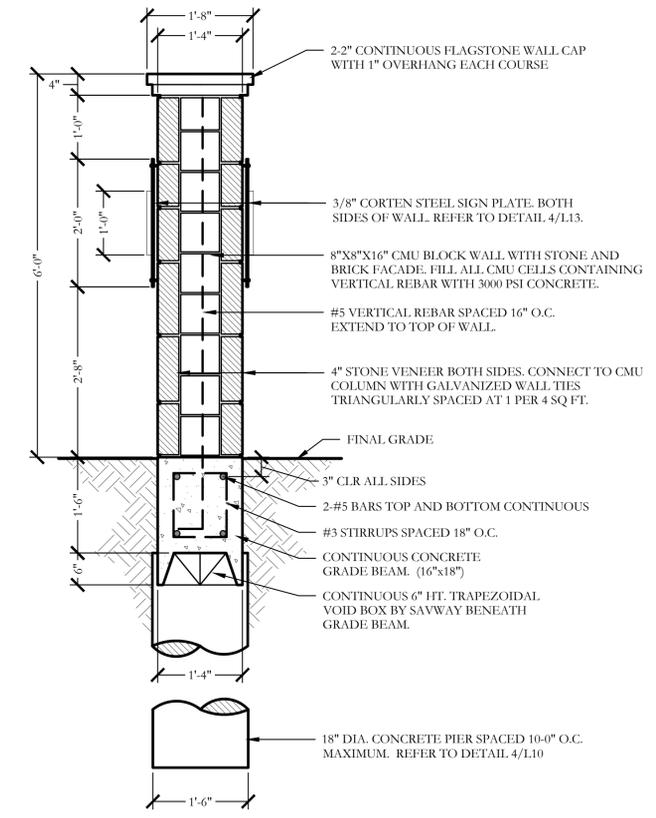
1 HEXAGONAL PAVILION DETAILS  
PLAN/SECTION



2 ENTRY SIGN PANEL ELEVATION  
SCALE: 1/2"=1'-0"



4 CORTEN STEEL SIGN PANEL ELEVATION  
SCALE: 1/2"=1'-0"

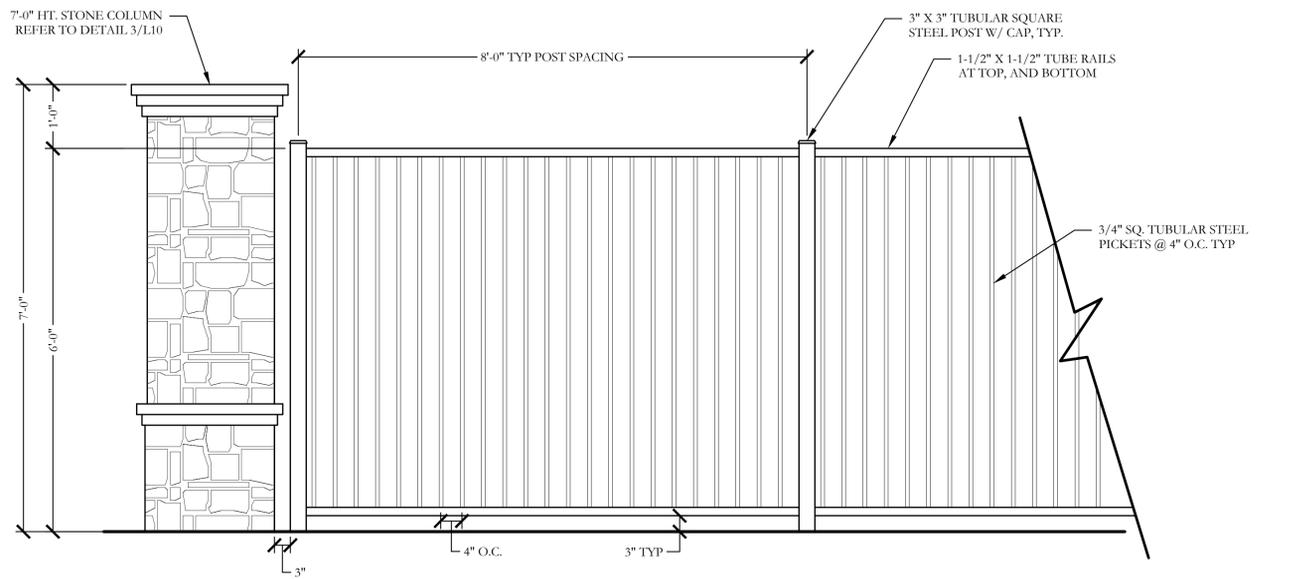


5 6'-0" HT. ENTRY SIGN PANEL SECTION  
SCALE: 3/4"=1'-0"

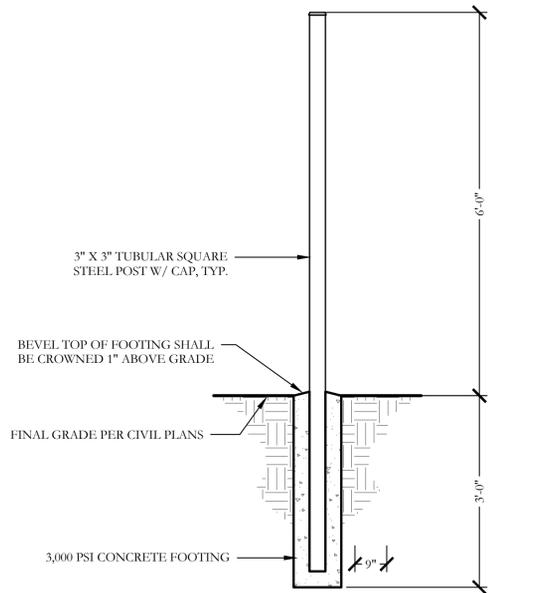
THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.  
One Inch

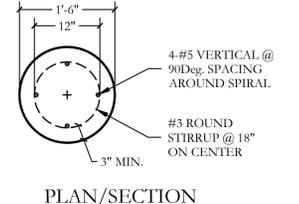
SCREENING AND BUFFERING  
Landscape Details  
Terracina - Tract 1  
City of Rockwall, Rockwall County, Texas



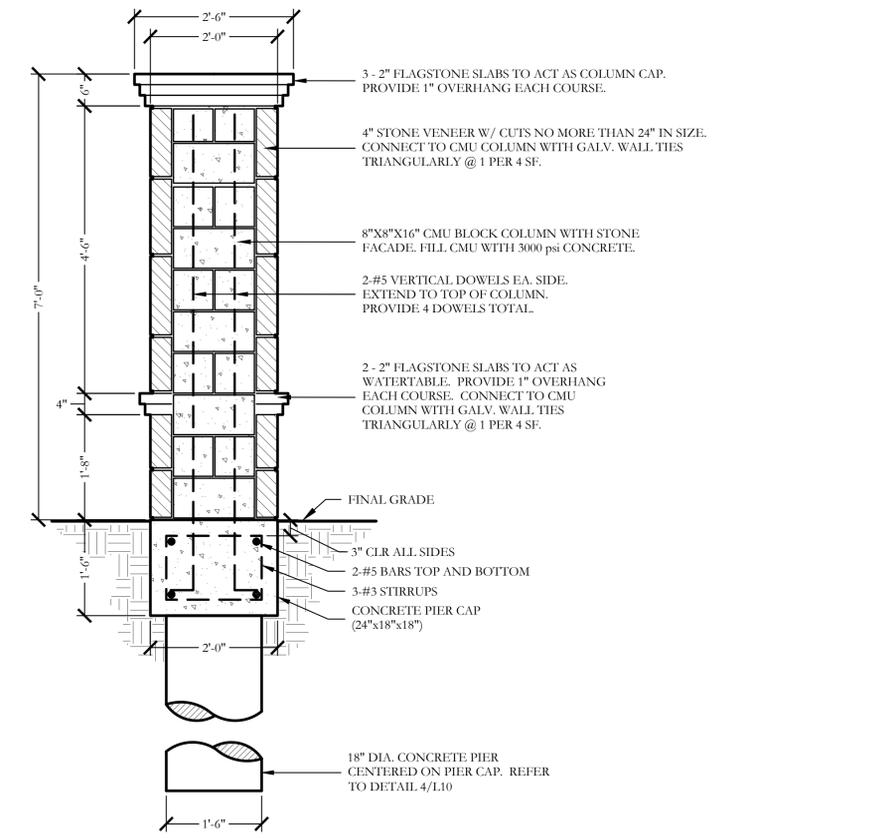
1 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 3/4"=1'-0"



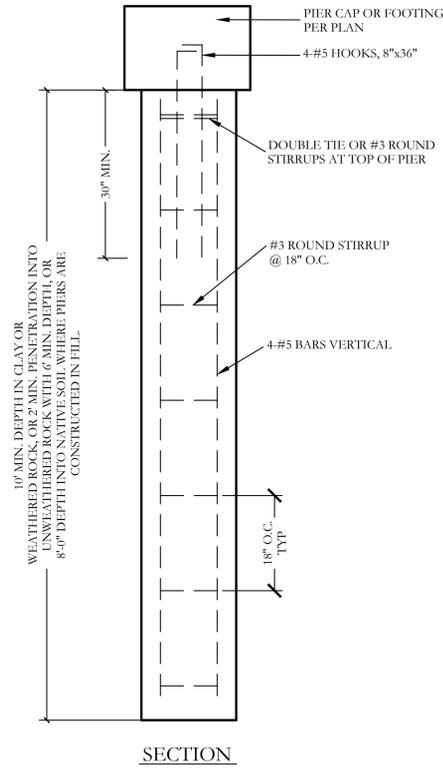
2 TYPICAL METAL POST FOOTING SECTION SCALE: 3/4"=1'-0"



PLAN/SECTION



3 7'-0" HT. STONE COLUMN SECTION SCALE: 3/4"=1'-0"



4 PIER (18" DIA.) SECTION SCALE: 3/4"=1'-0"

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 10.1. PICKETS, 3/4" SQUARE 16 GA.
  - 10.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
  - 10.3. POSTS, 3" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

WALL NOTES

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A62, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. REFER TO DETAILS FOR TYPE AND SIZE OF BRICK AND STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S, MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
11. STONE AND FLAGSTONE VENEER SHALL BE SELECTED BY OWNER.
12. VERIFY ALL DIMENSIONS IN THE FIELD BEFORE MANUFACTURING STONE AND STONE SLABS USED FOR THE SIGN MONUMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
14. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
15. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
16. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
17. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNER'S REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
18. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED. THE CITY OF ROCKWALL WILL REQUIRE A SEALED CERTIFICATION THAT THE WALL CONSTRUCTION WAS PERFORMED IN ACCORDANCE WITH THE DESIGN DRAWINGS.

WALL LAYOUT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

**CODY JOHNSON**  
s.t.u.d.i.o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025  
PH: (972) 570-0162  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

STATE OF TEXAS  
RICHARD REAVES  
91228  
LICENSE  
PROFESSIONAL ENGINEER

June 16, 2020

**REAVES CONSULTING**

REAVES CONSULTING  
831 ARROWHEAD DRIVE  
PROSPER, TEXAS 75078  
972-347-3908  
RICHARD@REAVESCONSULTINGLLC.COM

F-10826

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

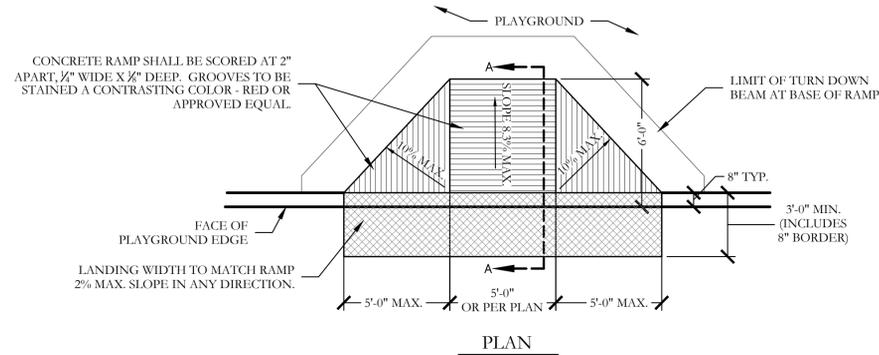
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Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

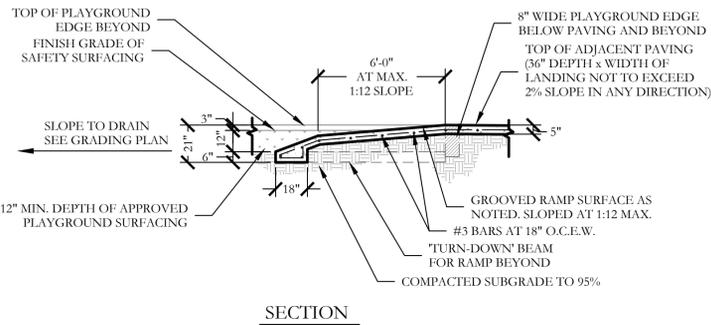
CJS PROJECT NO.  
DPI006

SHEET NO.  
L10 of 18



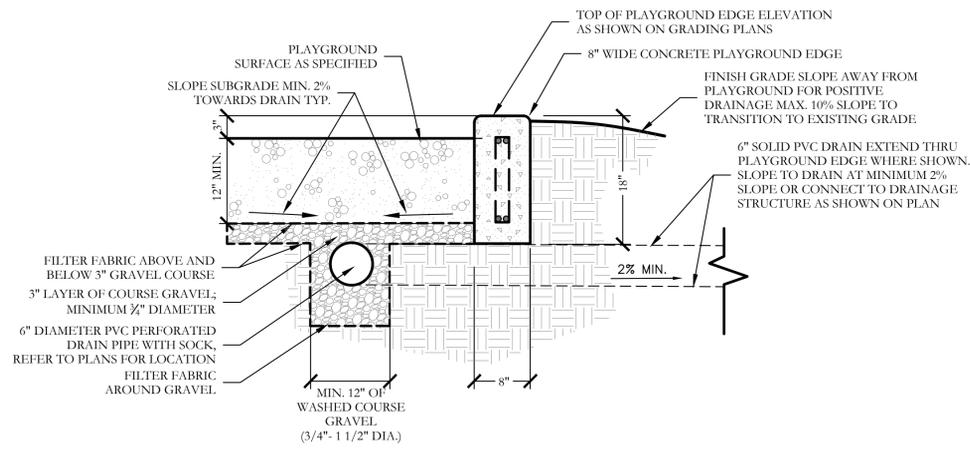
1 PLAYGROUND CURB RAMP DETAILS  
VARIES

SCALE: 1/4" = 1'-0"



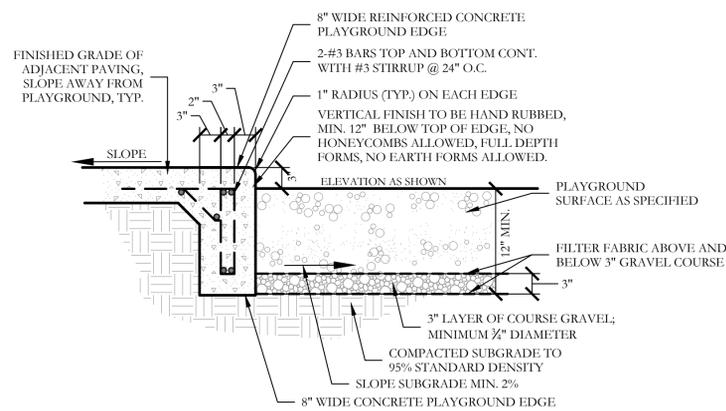
2 CONCRETE PLAYGROUND EDGE DETAIL  
SECTION

SCALE: 1" = 1'-0"



3 PLAYGROUND DRAIN DETAIL  
SECTION

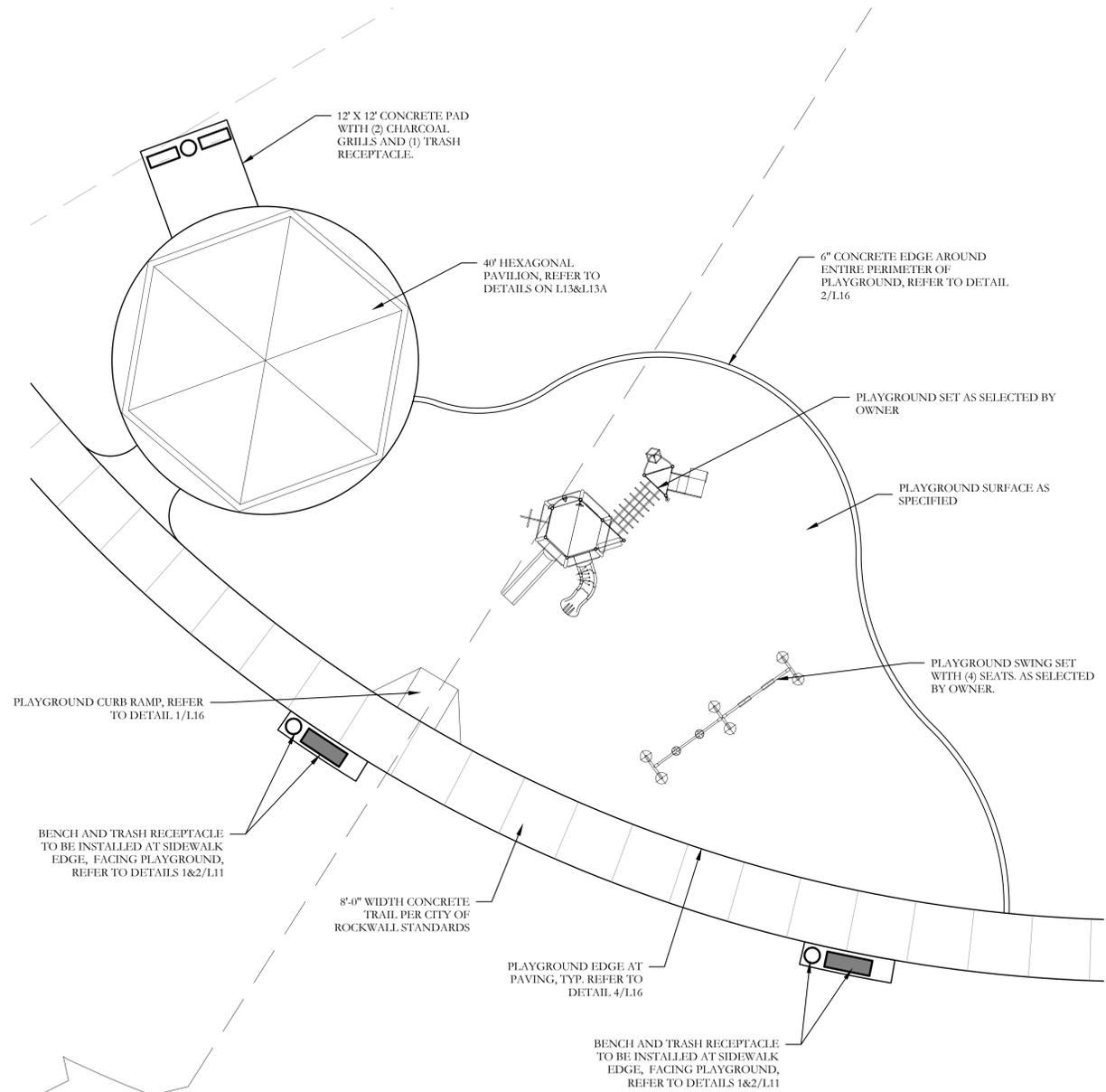
SCALE: 1" = 1'-0"



4 CONCRETE PLAYGROUND EDGE AT PAVING  
SECTION

SCALE: 1" = 1'-0"

- PLAYGROUND NOTES:**
1. PLAYGROUND SURFACE TO BE APPROVED ENGINEERED HARDWOOD FIBER CHIPS.
  2. 1/2" REDWOOD EXPANSION JOINTS SHALL BE PROVIDED WHERE SHOWN ON THE PLAN. EXPANSION JOINTS SHALL BE CONTINUOUS THROUGH THE WALK AND CONCRETE EDGE WHERE ADJACENT. INSTALL VERTICAL EXPANSION JOINTS IN PLAYGROUND EDGE ON MAXIMUM 30 FOOT CENTERS.
  3. CONTRACTOR TO EXCAVATE FULL DEPTH OF PLAYGROUND BORDER WHERE SHOWN AS AREA TO BE EXCAVATED.
  4. ALIGN RAMP WITH TRANSFER STATION OF PLAYGROUND EQUIPMENT



5 PLAYGROUND ENLARGEMENT  
PLAN

SCALE: 1" = 10'-0"

		P.O. Box 22326 Lincoln, NE 68542	PF: 402/421-9464 FX: 402/421-9479	WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com
TITLE <b>CITYVIEW          BACKED BENCH</b>	PRODUCT NO. <b>CV1-1000</b>	INCH TOLERANCES U.O.S. FRACTION--1/16" ANG-----±1"	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.	

\*Available in powder coat and DuraCoat finishes

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Materials List  
 (1) Seat Straps - 5/16" x 1 1/2" Steel Flat Bar  
 (2) Support Pipes -  $\phi$  1.315" x .133" Steel Pipe  
 (3) End Units - 1" Square Solid Steel Bar  
 (4) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole  
 (5) Mounted with Four  $\phi$  1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

1 BENCH

		P.O. Box 22326 Lincoln, NE 68542	PF: 402/421-9464 FX: 402/421-9479	WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com
TITLE <b>CITYVIEW          TRASH RECEPTACLE</b>	PRODUCT NO. <b>CV2-1000</b>	INCH TOLERANCES U.O.S. FRACTION--1/16" ANG-----±1"	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.	

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\*Available in powder coat and DuraCoat finishes

Materials List  
 (1) Vertical Straps - 5/16" x 1 1/2" Steel Flat Bar  
 (2) Top Ring -  $\phi$  5/8" Steel Round Bar  
 (3) Support Rings - 1/4" x 2" Steel Flat Bar  
 (4) Support Bars - 1/2" x 1" Steel Flat Bar  
 (5) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole  
 (6) Lid -  $\phi$  24" x .075" Wall Steel Lid  
 Attached to Basket with Stainless Steel Airline Cable  
 (7) Mounted with Three  $\phi$  1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)  
 (8) 40 Gallon Rigid Plastic Liner with Handles Included

2 TRASH RECEPTICAL

3 PET WASTE STATION

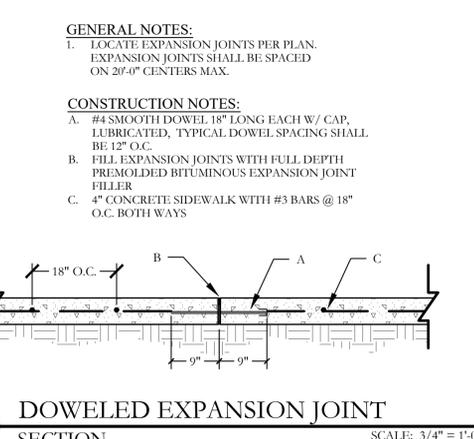
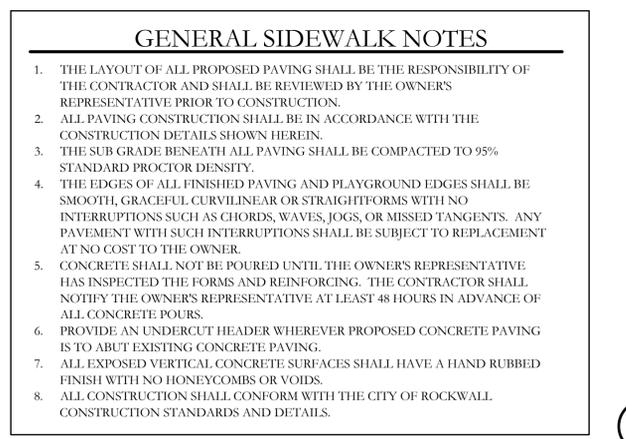
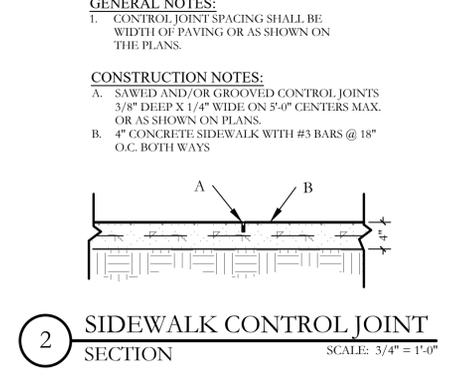
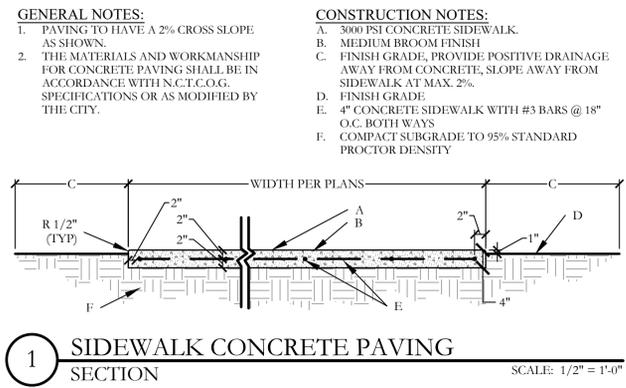
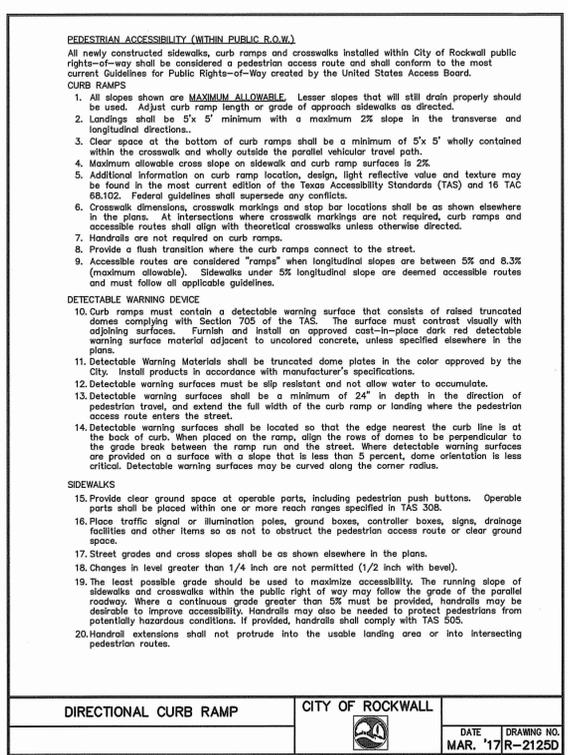
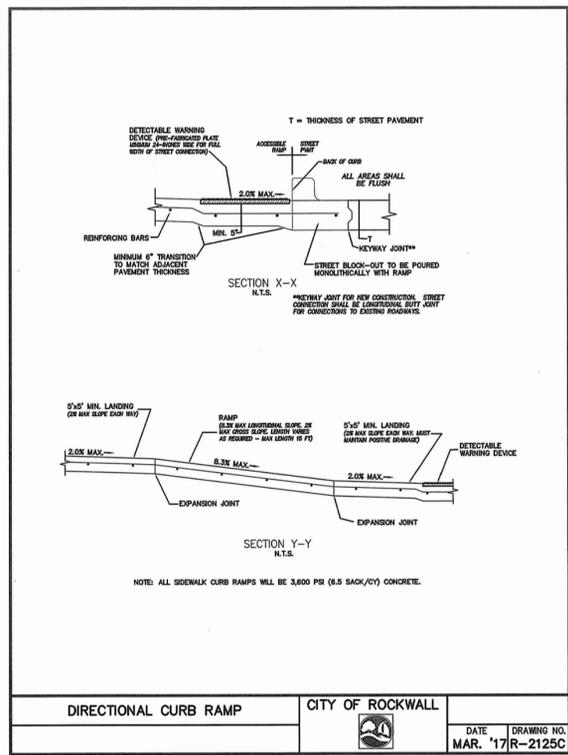
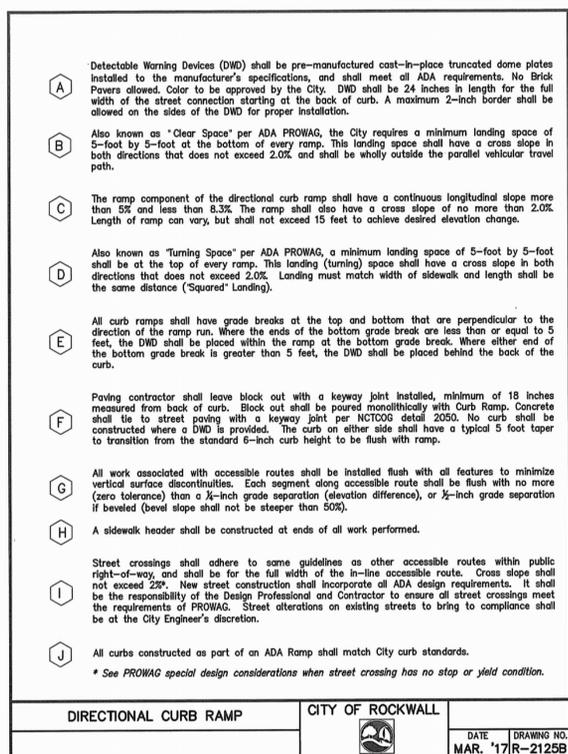
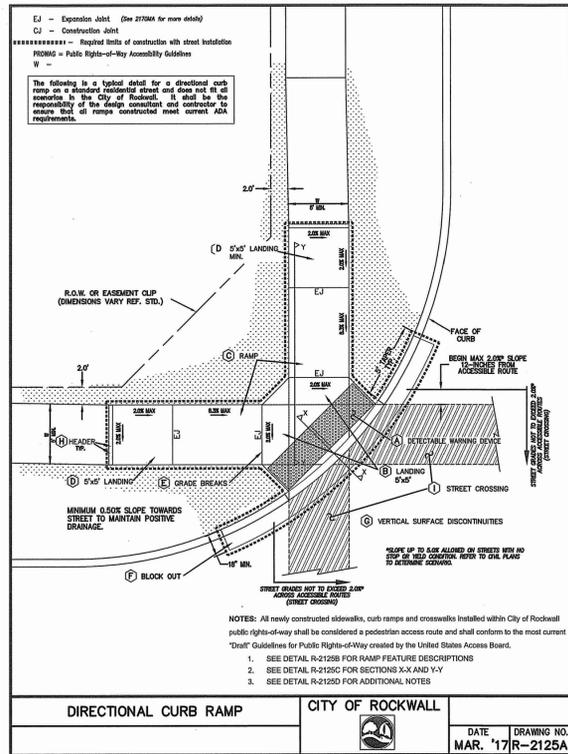
### DOGIPOT Complete Pet Station

The new DOGIPOT Pet Station includes a powder coated lid, hinged and attached directly to the 10 gallon waste receptacle. We have also invented a better and improved product entitled the 4' - 8' Galvanized Telescope Square Post. This rust-resistant post will be shipped as a 4' long and 2" x 2" wide package, and comes with the hardware to extend the post to any desired length between 4' and 7+ foot. Both of our reflective aluminum signs, "On-Leash" or "Pet Exercise Area" are available for an economical price in Accessories.

**ALL INCLUSIVE FEATURES:**

**DOGIPOT Junior .08 Gauge Aluminum Bag Dispenser**  
 Powder coated, forest green  
 15.5" x 9.4" x 3.25"  
 Locking front access panel with clear instructions and "Please clean up after your dog" sign  
 400 Biodegradable opaque brown pick up litter bags installed (2 rolls @ 200 bags)  
 4' to 8' galvanized telescope post  
 10 Gallon steel trash receptacle  
 Pet Sign, 18" x 12" aluminum  
 50 Heavy duty receptacle liner bags  
 Assembly material  
 Ship weight: 45 lbs.  
 Item # **KDP1003**

1. Junior Bag Dispenser  
 2. Powder coated, forest green 10 gallon waste receptacle with attached stainless steel lid.  
 3. Reflective aluminum Dogipot Sign, On Leash for Private Communities or Off Leash for Dog Parks  
 4. 2 rolls @ 200 bags of opaque brown, 13" long by 8" wide, biodegradable litter bags.  
 5. One roll @ 50 Trash Liner Bags  
 6. Mounting Material  
 7. MULTIPURPOSE 4' - 8' GALVANIZED TELESCOPE SQUARE POST



**GENERAL NOTES - HARDSCAPE CONSTRUCTION**

- CAST-IN-PLACE CONCRETE**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
  - CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
  - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
  - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
  - CHLORIDES SHALL NOT BE USED.
  - MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
  - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
    - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
    - CONCRETE EXPOSED TO EARTH OR WEATHER:
      - (A) BARS LARGER THAN NO. 5: 2 INCHES
      - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
    - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
      - (A) BARS LARGER THAN NO. 5: 3/4 INCHES
      - (B) BARS NO. 5 AND SMALLER: 3/4 INCHES
  - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
  - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
  - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
  - PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
  - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
  - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
  - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
  - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
  - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
  - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
  - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
  - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
  - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
  - PLACE GROUT USING LOW-LIFT METHOD, 6"-8" MAXIMUM LIFTS.

**CODY JOHNSON**  
s . t . u . d . i . o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025  
PH: (972) 570-0162  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

REGISTERED LANDSCAPE ARCHITECT  
CODY L. JOHNSON  
2833  
STATE OF TEXAS

September 2, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

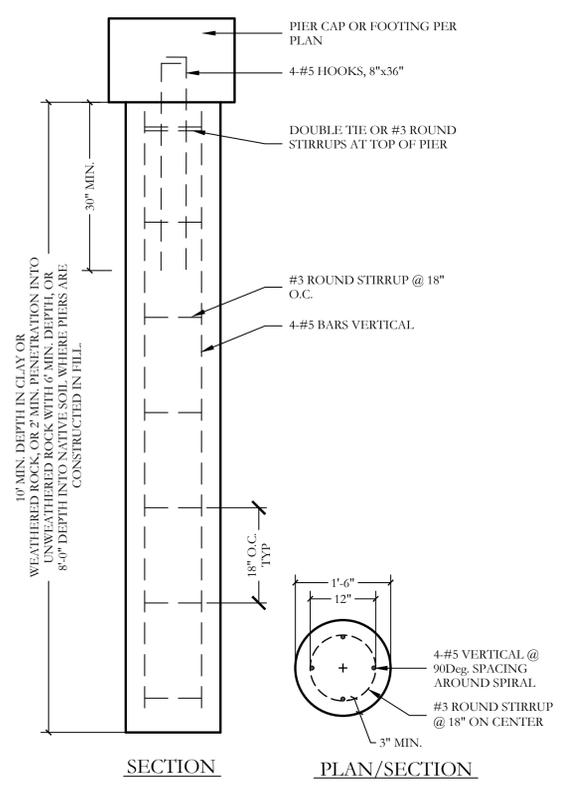
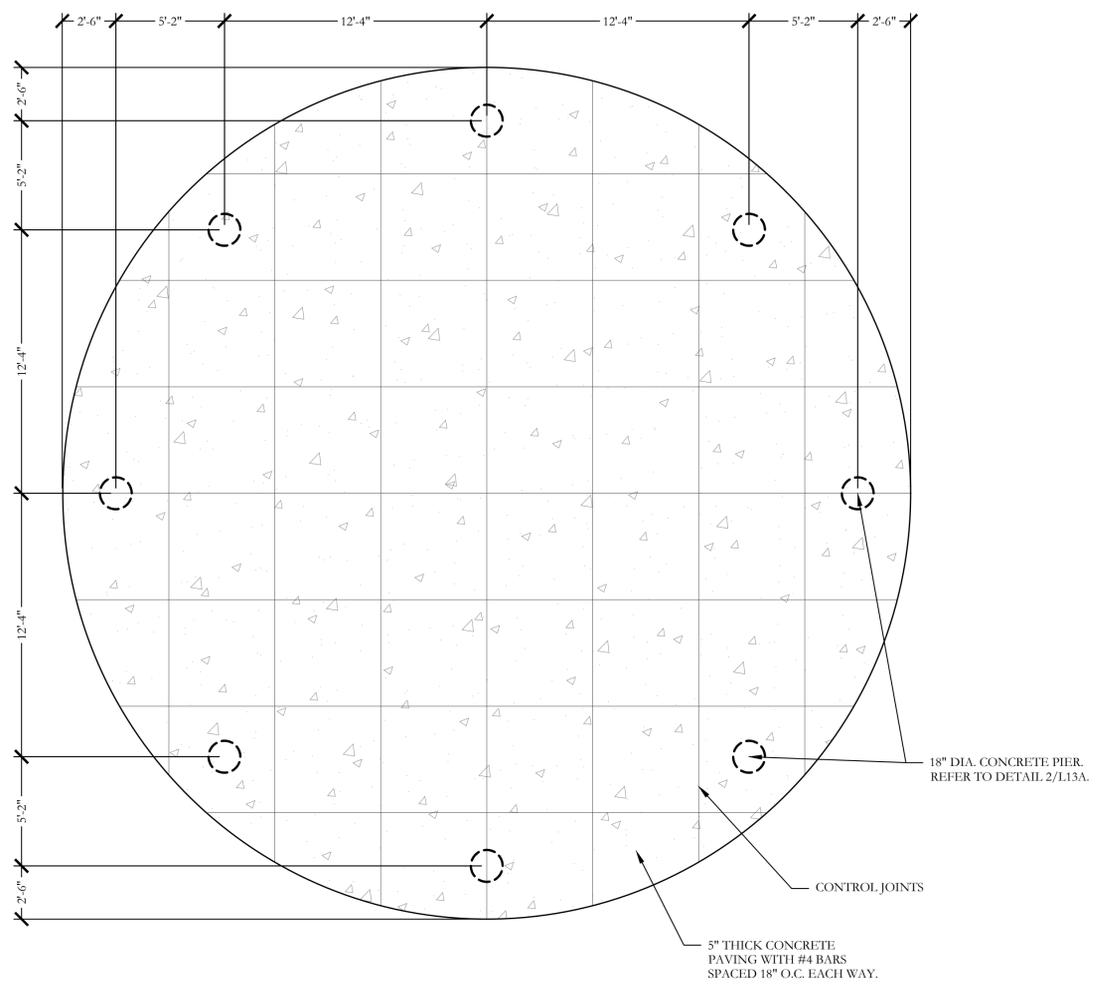
**SCREENING AND BUFFERING**

Landscape Details  
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

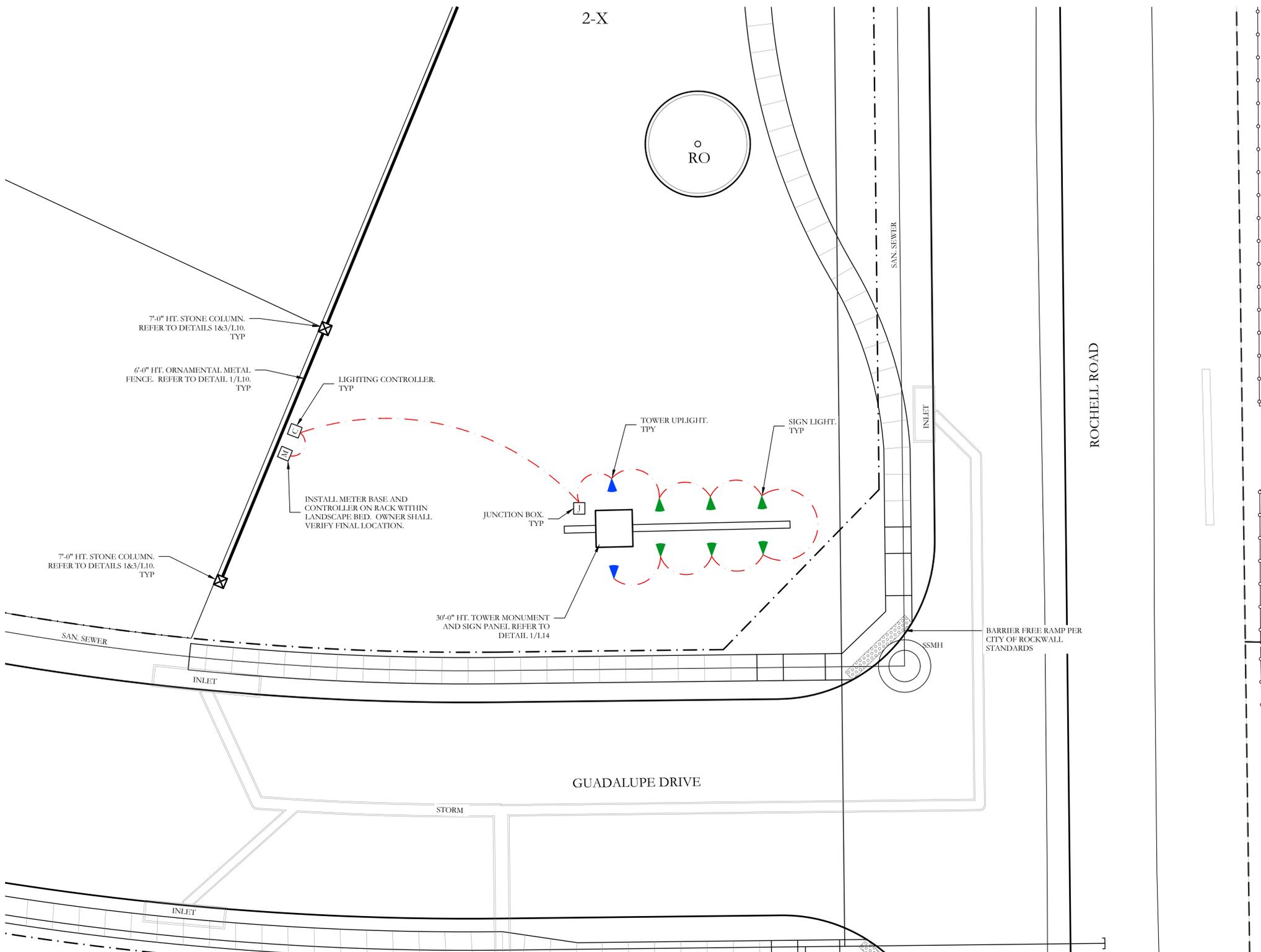
CJS PROJECT NO.  
DPI006

SHEET NO.  
L12 of 18



1 SHELTER FOUNDATION PLAN  
PLAN SCALE: 1/4" = 1'-0"

2 PIER (18" DIA.)  
PLAN/SECTION SCALE: 3/4" = 1'-0"



LIGHTING LEGEND		
SYMBOL	ITEM	QTY
[M]	PROPOSED METER BASE	1
[C]	LIGHTING CONTROLLER AS SELECTED BY OWNER	1
[J]	JUNCTION BOX, AS NECESSARY	
▼	SIGN LIGHT	6
▲	TOWER UPLIGHT	2

- LIGHTING NOTES**
- COORDINATE ALL ELECTRIC UTILITY REQUIREMENTS WITH THE SERVICE PROVIDER IN THE AREA. COORDINATE EXACT TRANSFORMER LOCATION TO MAINTAIN REQUIRED CLEARANCES FROM BUILDING, EQUIPMENT, ETC. PRIOR TO INSTALLATION. POUR TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS.
  - COORDINATE ALL TELEPHONE SERVICE REQUIREMENTS WITH LOCAL TELEPHONE UTILITY COMPANY AND PROVIDE ACCORDINGLY.
  - LIGHTING TYPE AND SIZE SHALL BE SELECTED BY THE OWNER.
  - LIGHTING AND ELECTRICAL CONNECTIONS SHALL COMPLY WITH TEXAS DEPARTMENT STATE HEALTH SERVICES AND MANUFACTURER RECOMMENDATIONS.
  - COORDINATE ALL SLEEVE LOCATIONS WITH OTHER TRADES. INSTALL ADDITIONAL SLEEVES AS NECESSARY.
  - THE ELECTRICAL CONTRACTOR SHALL REFER AND ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS, CUT SHEETS, SHOP DRAWINGS, NOTES, AND INSTALLATION PROCEDURES FOR ALL PRODUCTS SHOWN ON PLANS.
  - THE CONTRACTOR SHALL DETERMINE WIRE SIZES AND RUN PATTERNS IN THE FIELD.
  - REFER TO IRRIGATION PLANS AND COORDINATE WITH IRRIGATION CONTRACTOR FOR ALL SLEEVE LOCATIONS.
  - THE LIGHTING EXHIBIT SHOWN HEREIN IS FOR GRAPHIC REFERENCE ONLY TO BE USED FOR BIDDING PURPOSES. FINAL DESIGN AND INSTALLATION SHALL BE PROVIDED BY A LICENSED ELECTRICIAN.

**CODY JOHNSON**  
s.t.u.d.i.o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025  
PH. (972) 570-0162  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

REGISTERED LANDSCAPE ARCHITECT  
CODY L. JOHNSON  
2833  
STATE OF TEXAS

September 2, 2020

NORTH

10 5 0 10  
Scale: 1" = 10'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

**SCREENING AND BUFFERING**  
Entry Lighting Exhibit  
Terracina - Tract 1  
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.  
DPI006

SHEET NO.  
L18 of 18

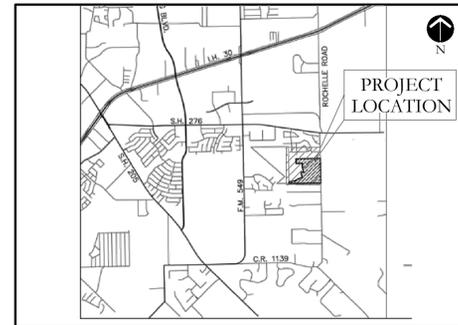
**GENERAL CONSTRUCTION NOTES**

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- BEFORE ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, AND STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST AND MAINTAIN EROSION CONTROL.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES INCLUDING EROSION CONTROL ON ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDIE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

# CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~TERRACINA - TRACT 1~  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE September 2, 2020



LOCATION MAP  
NOT TO SCALE

SHEET INDEX	
L1	OVERALL LAYOUT PLAN
L2-L9	LANDSCAPE PLANS
L10-L18	LANDSCAPE DETAILS
IR1-IR8	IRRIGATIONS PLANS
IR10-IR11	IRRIGATIONS DETAILS

**GENERAL LANDSCAPE NOTES:**

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
  - WATER METERS, CLEANOUTS AND OTHER APURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3) RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10) MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4) MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (5) AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2) OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5) SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPHEDD.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

**DEVELOPER:**

**DOUGLAS PROPERTIES, INC.**  
2309 AVE K, SUITE 100  
PLANO, TX 75074  
PH. (972) 422-1658  
CONTACT: JR DOUGLAS

**OWNER :**

**BLOOMFIELD HOMES, LP.**  
1050 E. STATE HWY 114  
SUITE 210  
SOUTHLAKE, TX 76092  
INST. NO. 2014-0000016643

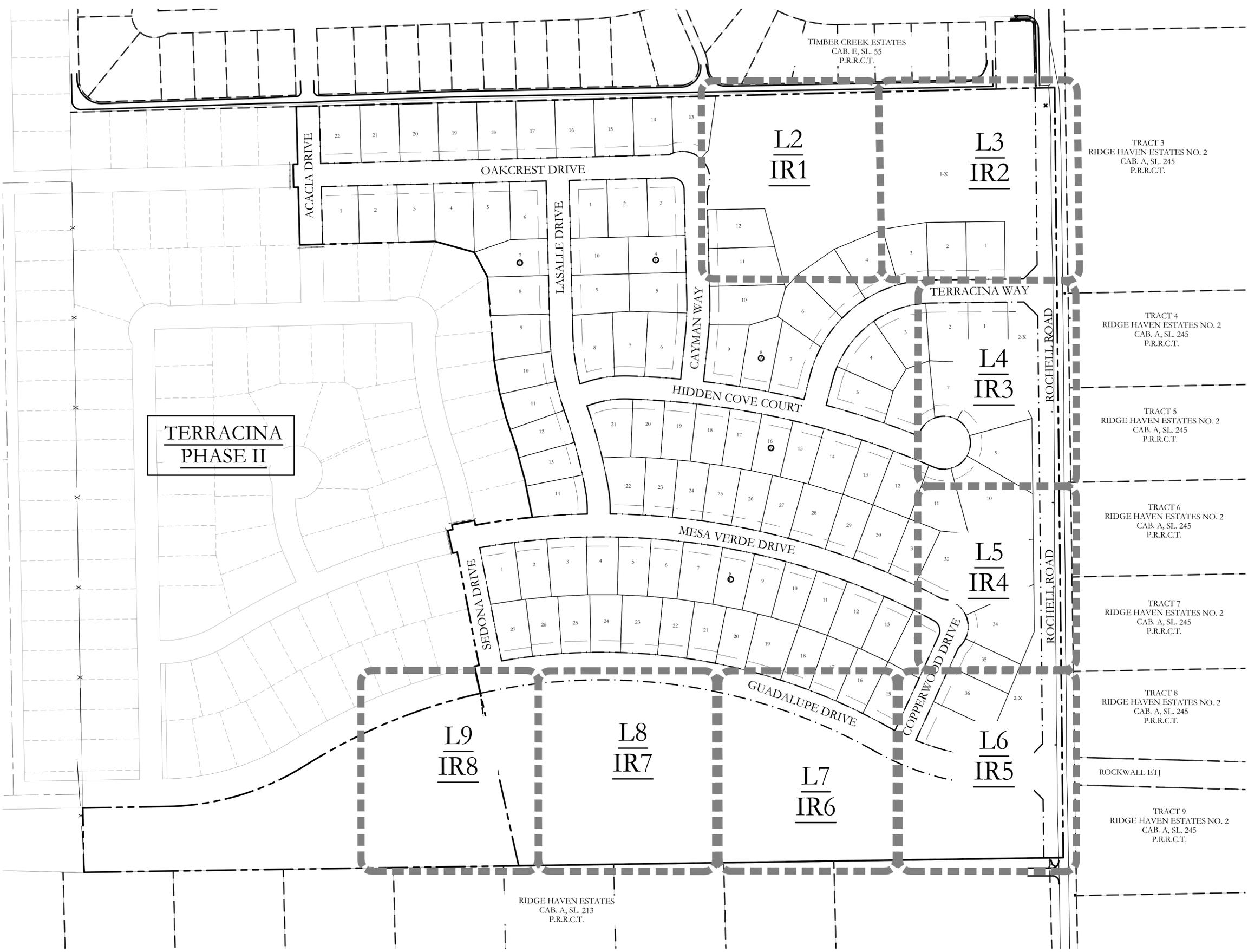
**CIVIL ENGINEER:**

**ENGINEERING CONCEPTS & DESIGNS, L.P.**  
201 WINDCO CIRCLE  
SUITE 200  
WYLIE, TEXAS 75098  
PH. (972) 941-8400

**LANDSCAPE ARCHITECT:**

**CODY JOHNSON STUDIO, LLC**  
9720 COIT ROAD SUITE 220-333  
PLANO, TEXAS 75025  
PH. (903) 570-0162  
CONTACT: CODY JOHNSON, RLA, ASLA, LI





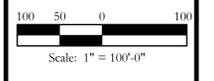
**TERRACINA  
PHASE II**

**CODY JOHNSON**  
s.t.u.d.i.o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025  
PH. (972) 570-0162  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM



September 2, 2020



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One Inch

**SCREENING AND BUFFERING**

Overall Landscape Plan  
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.  
**DPI006**

SHEET NO.  
**L1 of 18**

TRACT 3  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SL. 245  
P.R.R.C.T.

TRACT 4  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SL. 245  
P.R.R.C.T.

TRACT 5  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SL. 245  
P.R.R.C.T.

TRACT 6  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SL. 245  
P.R.R.C.T.

TRACT 7  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SL. 245  
P.R.R.C.T.

TRACT 8  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SL. 245  
P.R.R.C.T.

ROCKWALL ETJ

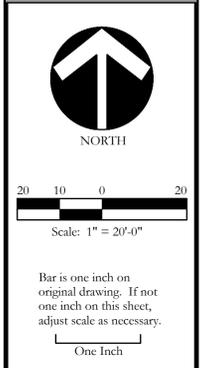
TRACT 9  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SL. 245  
P.R.R.C.T.

RIDGE HAVEN ESTATES  
CAB. A, SL. 213  
P.R.R.C.T.

TIMBER CREEK ESTATES  
CAB. E, SL. 55  
P.R.R.C.T.



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.
		ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.
		DWARF WAX MYRTLE	MYRTICA SPP.	7 GALLON	48" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C. 18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		TIF-TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	100% COVERAGE
		TEXAS RIVER ROCK	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1-2" AND 2-4" IN SIZE.	SQUARE FEET	100% COVERAGE
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.		



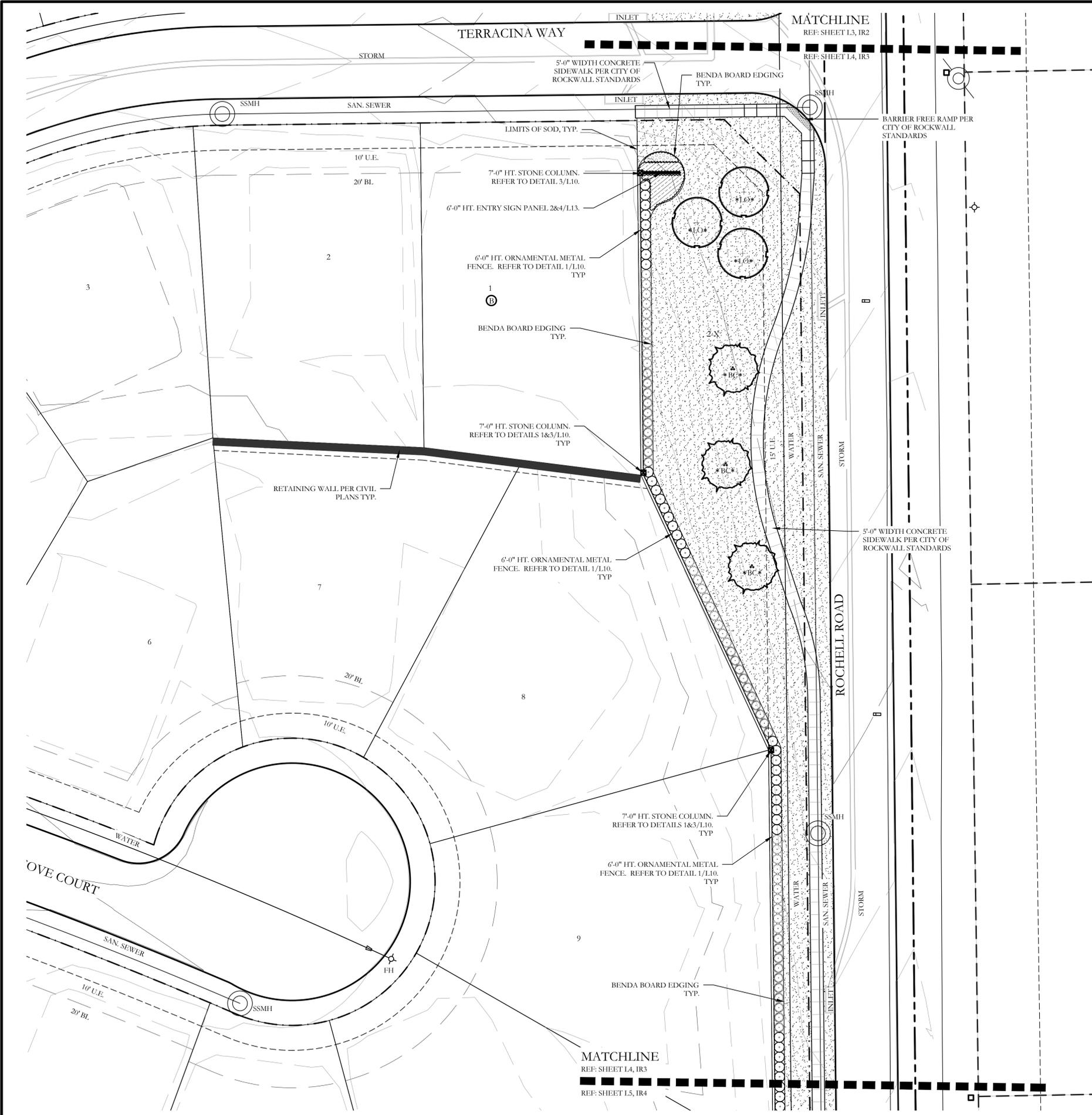
**SCREENING AND BUFFERING**

Landscape Plan

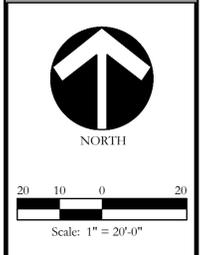
**Terracina - Tract 1**

City of Rockwall, Rockwall County, Texas





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		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		TIF-TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	100% COVERAGE
		TEXAS RIVER ROCK	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1-2" AND 2-4" IN SIZE.	SQUARE FEET	100% COVERAGE
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.		



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

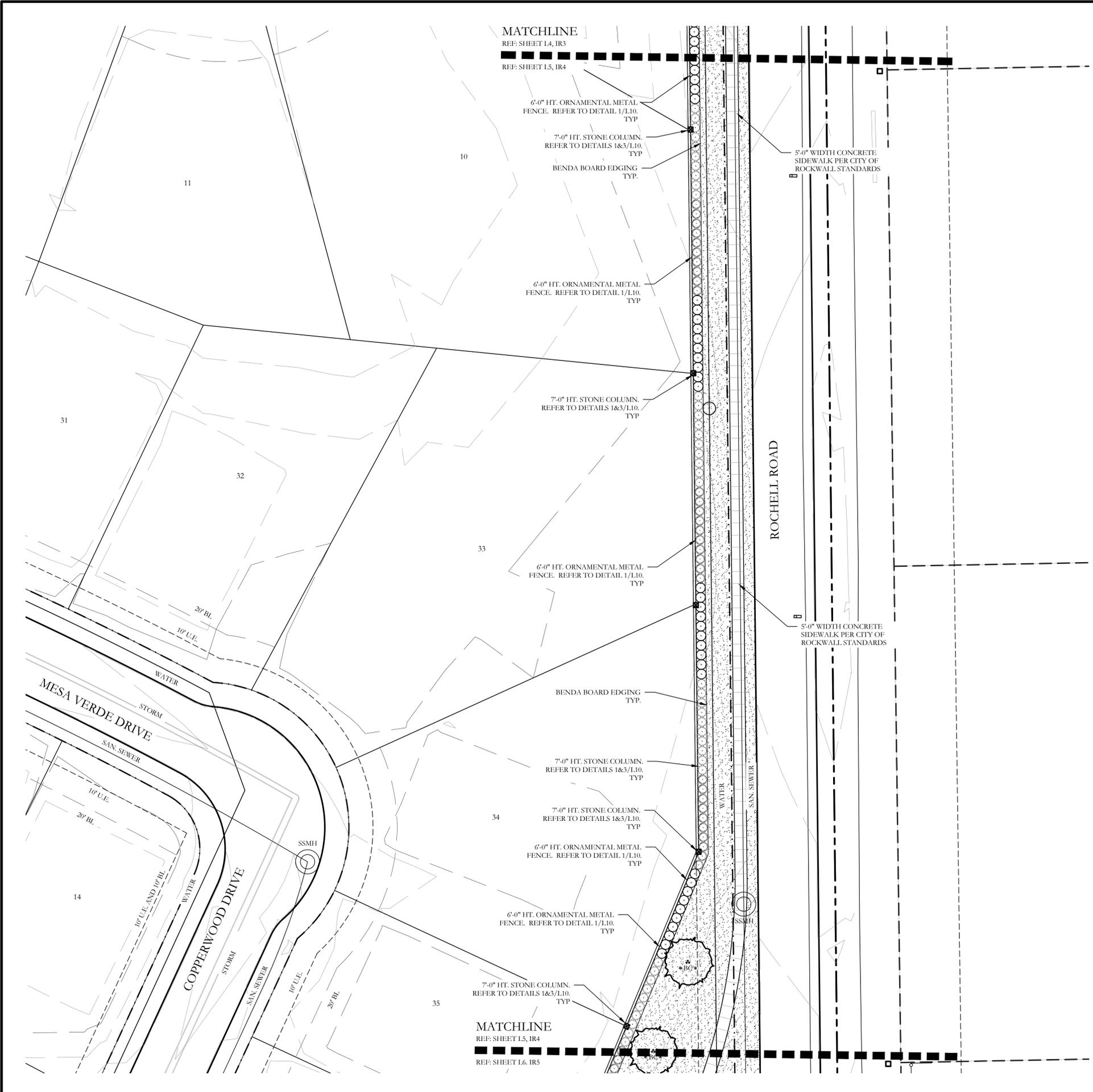
**SCREENING AND BUFFERING**

Landscape Plan  
Terracina - Tract 1

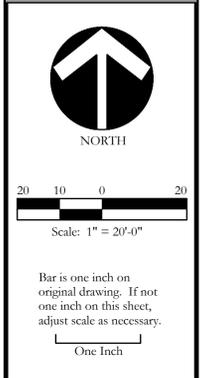
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.  
**DPI006**

SHEET NO.  
**L4 of 18**



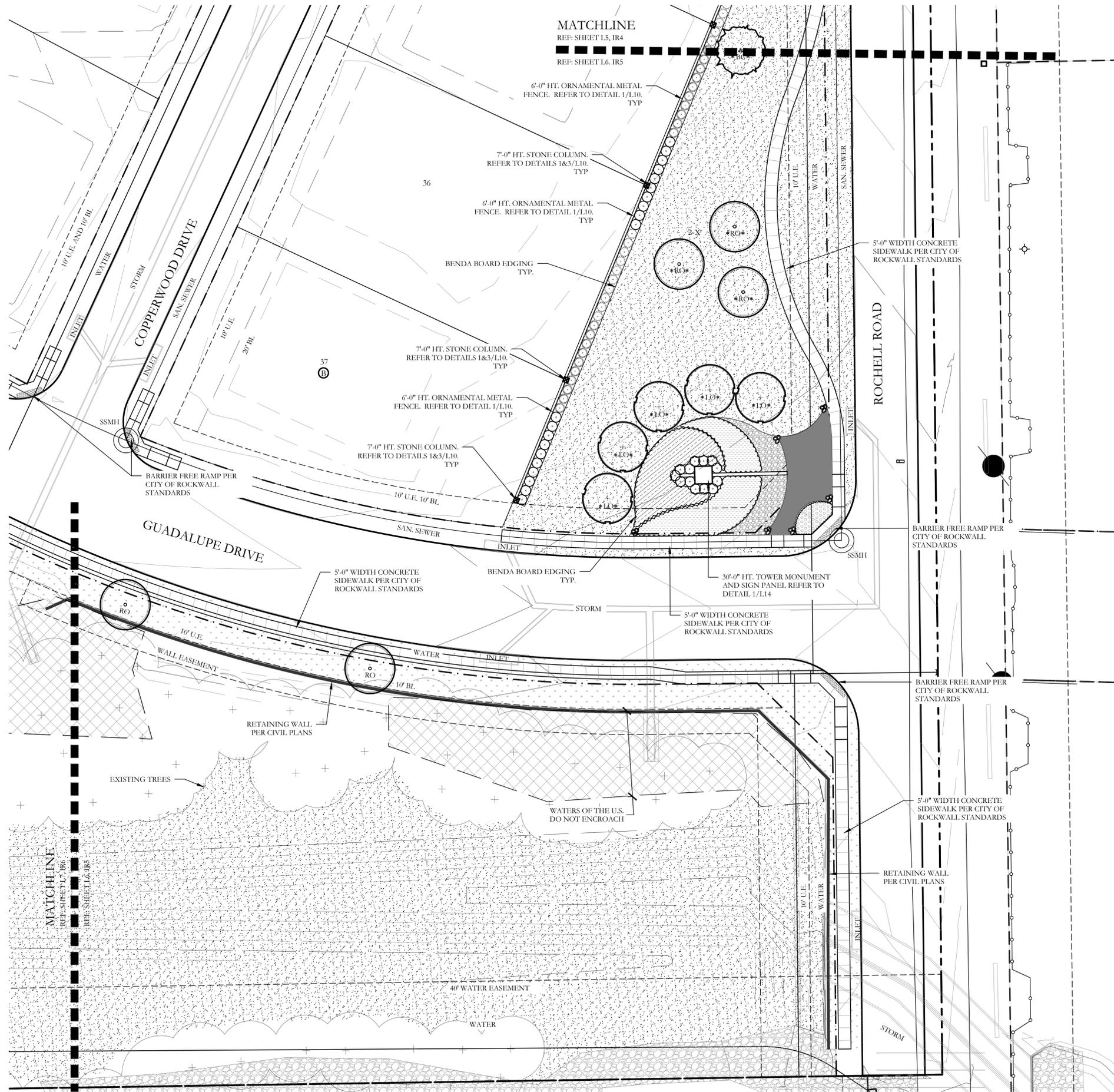
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.
		ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.
		DWARF WAX MYRTLE	MYRICA SPP.	7 GALLON	48" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C. 18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		TIF-TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	100% COVERAGE
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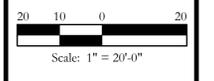
**SCREENING AND BUFFERING**

Landscape Plan  
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	LO*	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN
	RO*	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
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		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.
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		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
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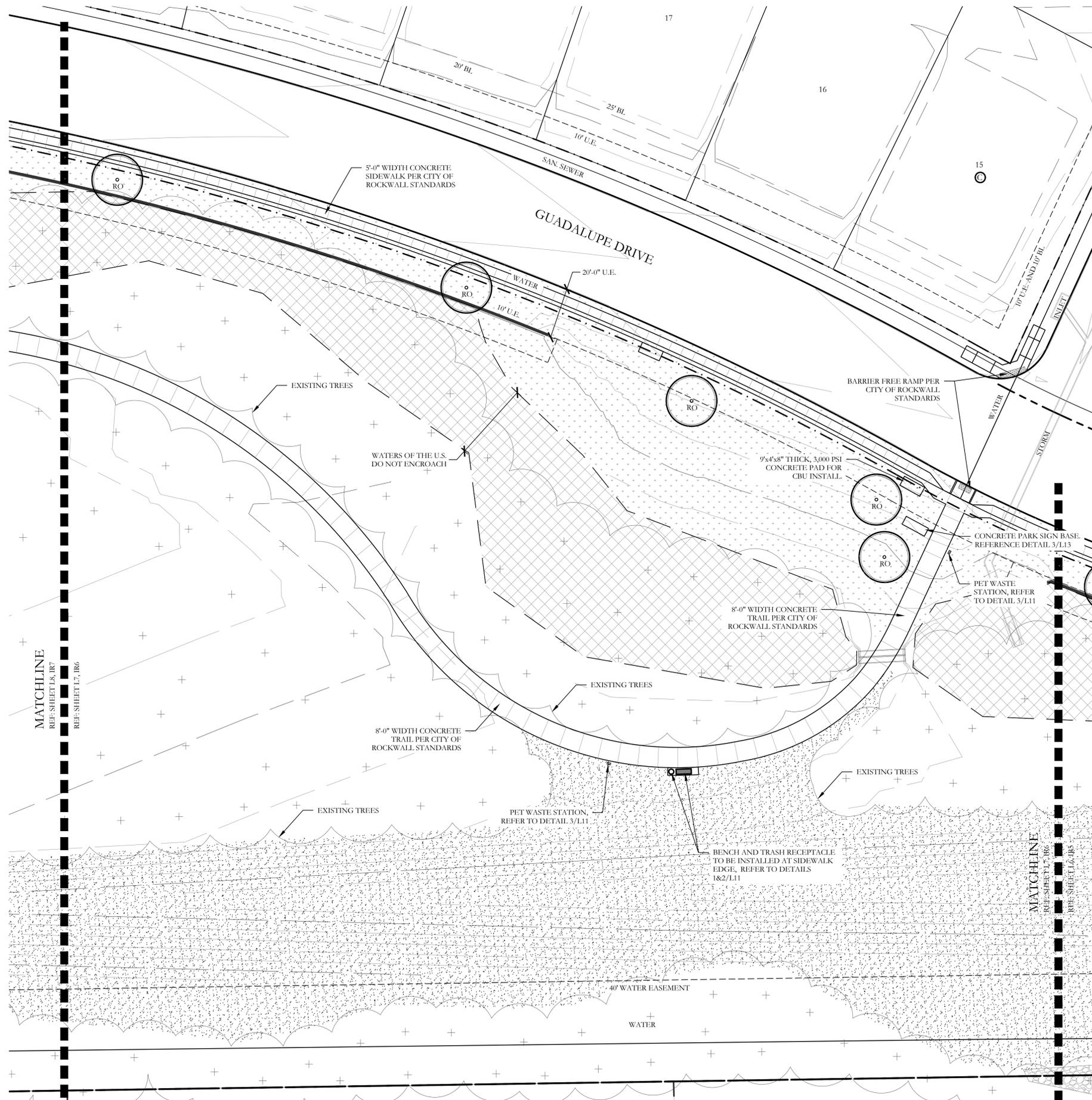
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One Inch

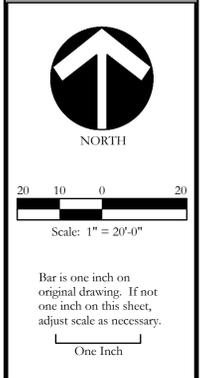
**SCREENING AND BUFFERING**

Landscape Plan  
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

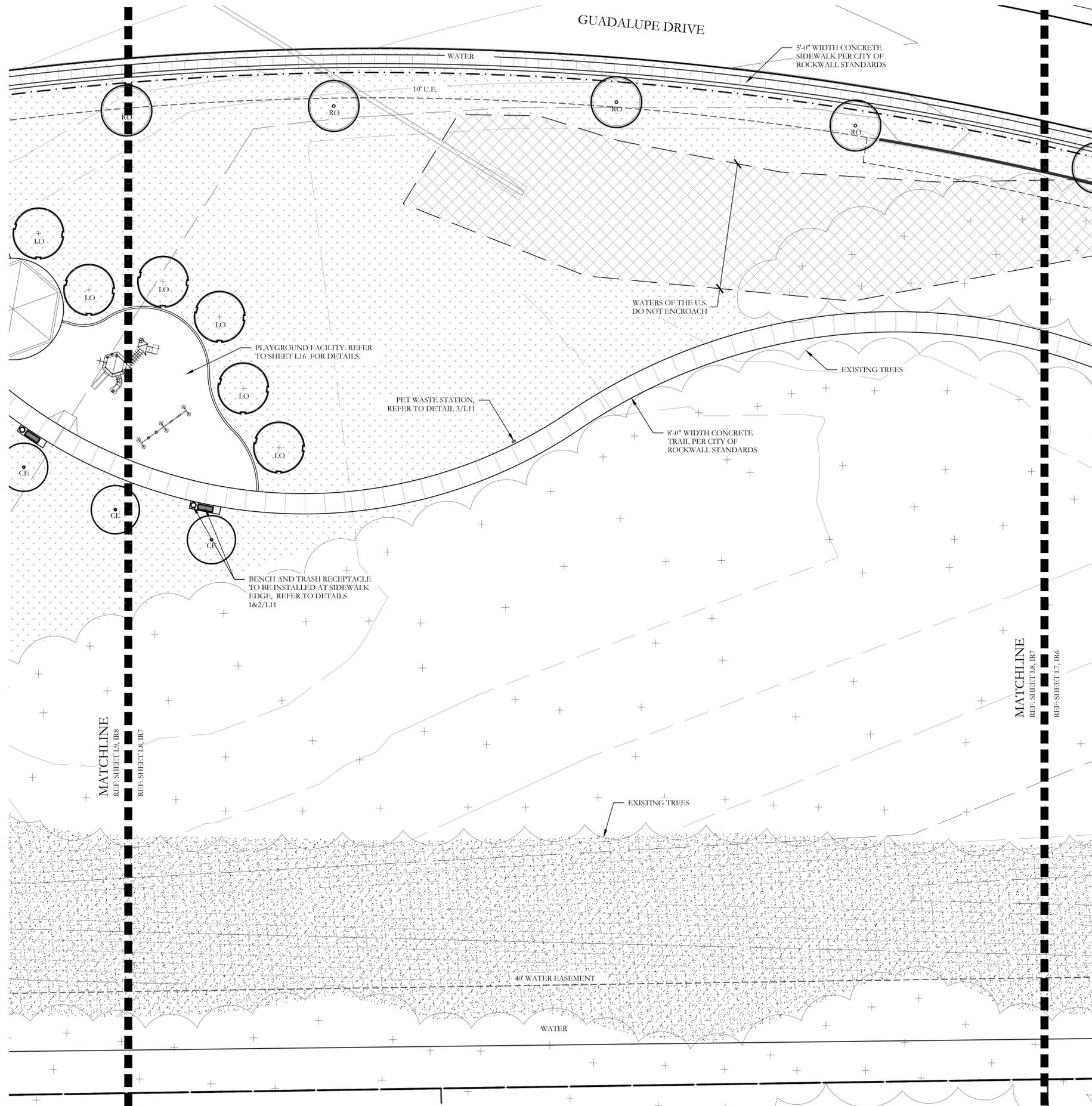


PLANT LEGEND					
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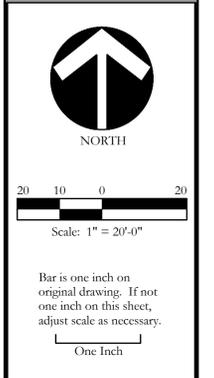


**SCREENING AND BUFFERING**

Landscape Plan  
Terracina - Tract 1  
City of Rockwall, Rockwall County, Texas



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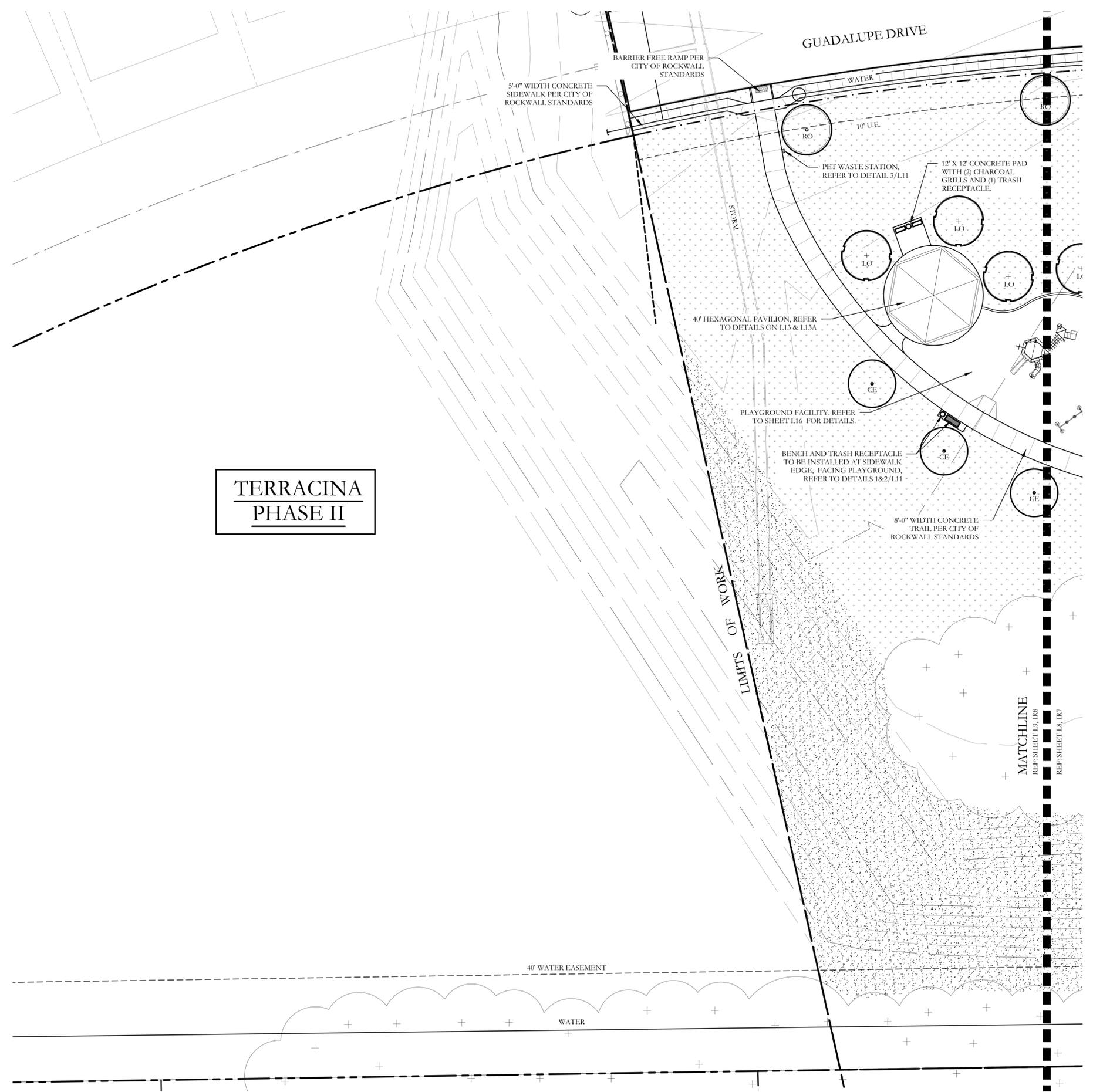


**SCREENING AND BUFFERING**

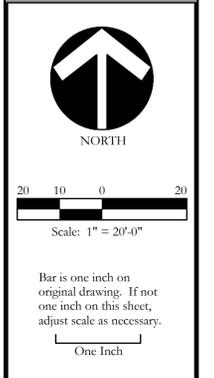
Landscape Plan  
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

**TERRACINA  
PHASE II**

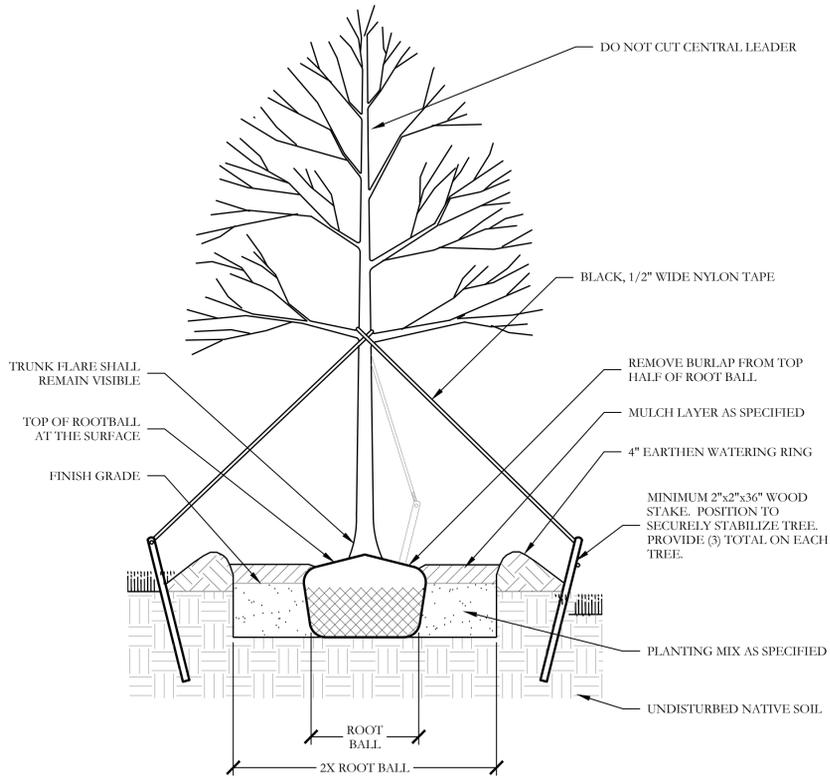


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		ELAEOAGNUS	ELAEOAGNUS PUNGENS	7 GALLON	48" O.C.
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		TEXAS RIVER ROCK	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1-2" AND 2-4" IN SIZE.	SQUARE FEET	100% COVERAGE
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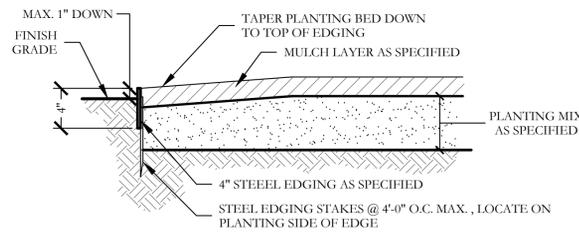


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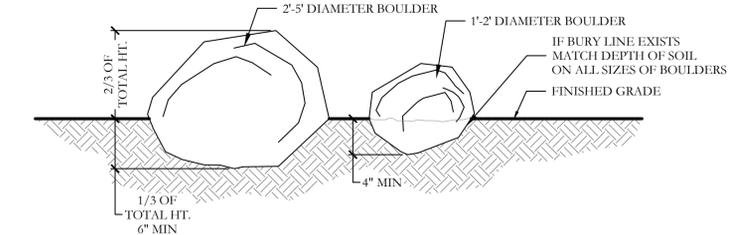
Landscape Plan  
Terracina - Tract 1  
City of Rockwall, Rockwall County, Texas



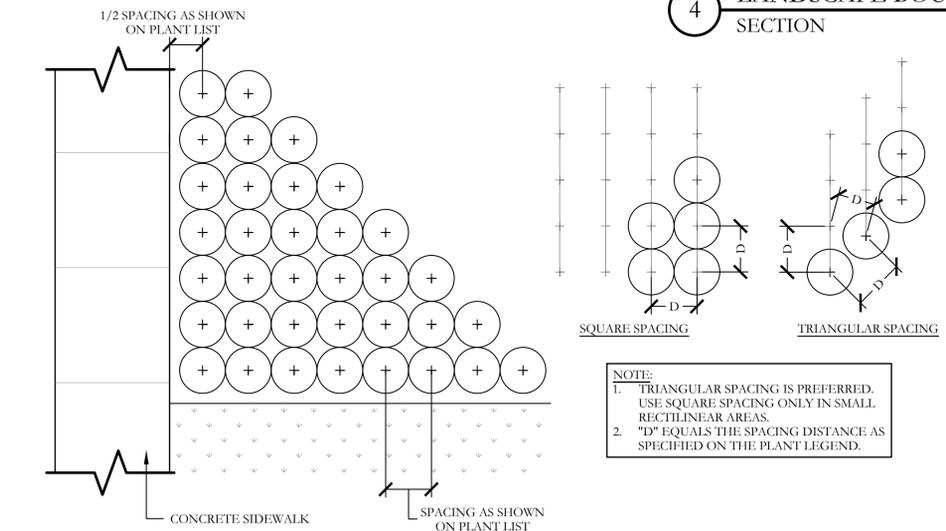
**1 TYPICAL TREE PLANTING SECTION**  
NOT TO SCALE



**2 TYPICAL BED EDGING DETAIL SECTION**  
NOT TO SCALE



**4 LANDSCAPE BOULDER DETAIL SECTION**  
NOT TO SCALE



**3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION**  
NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	7	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
*LO*	11	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RO	12	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
*RO*	3	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CE	4	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
BC	2	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
*BC*	9	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
ERC	23	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	111	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	89	ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	89	DWARF WAX MYRTLE	MYRICA SPP.	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	510	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	474	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	450	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	362,281	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	76,922	TIF TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	615	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK
	500	TEXAS RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

**GENERAL LANDSCAPE NOTES**

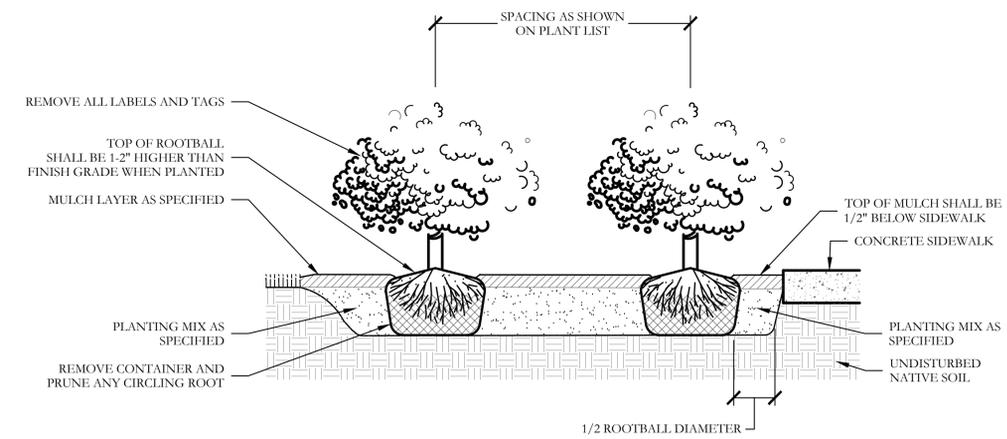
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



**5 ROCK AND STONE BEDS SECTION**  
NOT TO SCALE



September 2, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

**SCREENING AND BUFFERING**

Landscape Details

Terracina - Tract 1

City of Rockwall, Rockwall County, Texas



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** September 15, 2020  
**APPLICANT:** Kevin Lawson; *Lawson Real Estate Holdings, LLC*  
**CASE NUMBER:** SP2020-022; *Site Plan for an Office Building at 1507 Airport Road*

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### SUMMARY

Discuss and consider a request by Kevin Lawson of Lawson Real Estate Holdings, LLC for the approval of a Site Plan for an *office building* on a 0.47-acre parcel of land identified as Lot 5, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1507 Airport Road.

### BACKGROUND

The subject property was annexed in 1986 [*Ordinance No. 86-30*] is zoned Commercial (C) District, and is located north of the intersection of Industrial Boulevard and Airport Road. On July 7, 2012, The City Council approved a change in zoning from an Agricultural (AG) District to a Commercial (C) District [*Ordinance No. 12-14*] for the subject property. On June 5, 2017 the City Council approved a final plat [*Case No. P2017-026*] for Lots 1-3, Block A, Landing Point Addition. On April 20, 2020, the City Council approved a replat of Lot 1, Block A, Landing Point Addition, which subdivided the property into two buildable lots (*i.e. Lots 4 & 5, Block A, Landing Point Addition*) and establishing the subject property as Lot 5, Block A, Landing Point Addition.

### PURPOSE

The applicant is requesting approval of a site plan for a ~4,988 SF single-story office building on the 0.47-acre subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is located at 1507 Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant lot (*i.e. Lot 6, Block A, Landing Point Addition*) that has been recently site planned [*i.e. SP2020-041*] for a medical office facility (*i.e. T-3 Chiropractic*). Beyond this is an indoor recreation/amusement business (*i.e. Adventure Sports*). These properties are zoned Commercial (C) District. Beyond this are several large vacant tracts of land that are zoned Agricultural (AG) District and Planned Development District 71 (PD-71) for Commercial (C) District land uses.

South: Directly south of the subject property is Airport Road, which is identified as a *M4U (major collector, four [4] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the *Leon Tuttle Athletic Complex* followed by the Union Pacific/Dallas Garland N. E. Railway. Beyond this there is a light industrial facility (*i.e. Graham Packaging Pet Technologies*). These areas are zoned Light Industrial (LI) District.

East: Directly east of the subject property is a medical office facility (*i.e. Lakes Regional Mental Health*), a house of worship (*i.e. Cornerstone Church*), and a vacant tract of land (*i.e. Tract 4-06, N. Butler Survey, Abstract No. A0020*). These areas are zoned Commercial (C) District. Following this is John King Boulevard, which is identified as a *P6D (principle arterial, six [6]-lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are several vacant tracts of land followed by Airport Road, which is identified as a *M4U (major collector, four [4]-lane, undivided roadway)* on the City's Master Thoroughfare Plan OURHometown Vision 2040 Comprehensive Plan. Beyond this there are several vacant tracts of land, a light industrial facility (*i.e. Columbia Extrusion*), and a mixed-use subdivision (*i.e. Park Station*). These areas are zoned Light Industrial (LI) District and Planned Development District 87 (PD-87) for townhome, commercial, and light industrial land uses.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *office facility* is permitted by-right in a Commercial (C) District and no additional discretionary approvals are necessary with regard to land use. The proposed single-story office building will be ~4,988 SF, and will be clad with a combination of brick, natural stone, cast stone, and cementitious lap siding (*i.e. Hardi-Board or similar*). The building will utilize a pitched roof system (*i.e. standing seam metal roof*). The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>20,748 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>102-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>202-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>&gt;15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>&gt;10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>&gt;10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>25-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>26%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>17 Spaces</i>	<i>21 Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>42%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>58%; In Conformance</i>

**TREESCAPE PLAN**

This request does not require a treescape plan since there are no protected trees being removed.

**CONFORMANCE WITH THE CITY'S CODES**

The applicant's request adheres to all applicable requirements stipulated by the Unified Development Code (UDC) and other City codes.

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Map that was adopted with the OURHometown Vision 2040 Comprehensive Plan depicts the subject property being located within the *Central District*. This district contains a wide range of land uses that vary from single-family residential to industrial land uses. The residential areas within the district are largely rural and estate developments. Although there are some residential and commercial/retail developments within the district, the *Technology/Employment Center (TEC)* land use occupies the largest acreage (*i.e. 390.78-acres*). This can likely be attributed to the Union Pacific/Dallas Garland and Northeastern Rail Road that bisects the district and serves as a major mode of transportation for the facilities within the Rockwall Technology Park. The commercial/retail centers in this district are intended to support existing and proposed residential developments and should be compatible in scale with adjacent residential structures and incorporate appropriate screening (*e.g. berms, landscaping, and large buffers*) to transition uses. In this case, it appears that the proposed office building can be viewed as a supporting service for the residential developments located to the north and to the west of the subject property. The applicant is utilizing a *residential-scale* architectural style and the property is surrounded by commercial and industrial land uses. Due to these factors, the applicant's request appears to be in conformance with the district strategies of the *Central District* as outlined in the Comprehensive Plan.

**ARCHITECTURAL REVIEW BOARD (ARB):**

On August 25, 2020, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval of the applicant's request by a vote of 5-0, with Board Members Wacker and Mitchell absent.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's request for a site plan for an office building, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit; and,
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-022

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING: B. Li

CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) 1
- Preliminary Plat (\$200.00 + \$15.00 Acre) 1
- Final Plat (\$300.00 + \$20.00 Acre) 1
- Replat (\$300.00 + \$20.00 Acre) 1
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) 1
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) 1
- Specific Use Permit (\$200.00 + \$15.00 Acre) 1
- PD Development Plans (\$200.00 + \$15.00 Acre) 1

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

1: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address **1505 Airport Rd, Rockwall, TX 750**

Subdivision **Landing Point Addition**

Lot **5**

Block **A**

General Location

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **Commercial**

Current Use **C**

Proposed Zoning **Commercial**

Proposed Use **C**

Acreage **0.47**

Lots [Current]

Lots [Proposed]

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **Lawson Real Estate Holdings LLC**

Applicant

Contact Person **Kevin Lawson**

Contact Person

Address **4509 Rowlett Rd.**

Address

City, State & Zip **Rowlett, TX 75088**

City, State & Zip

Phone **(972) 475-0644**

Phone

E-Mail **KevinL@LawsonCPAs.com**

E-Mail

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Kevin Lawson [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 17<sup>th</sup> day of July, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated in request for public information."

Given under my hand and seal of office on this the 17<sup>th</sup> day of July, 2020.

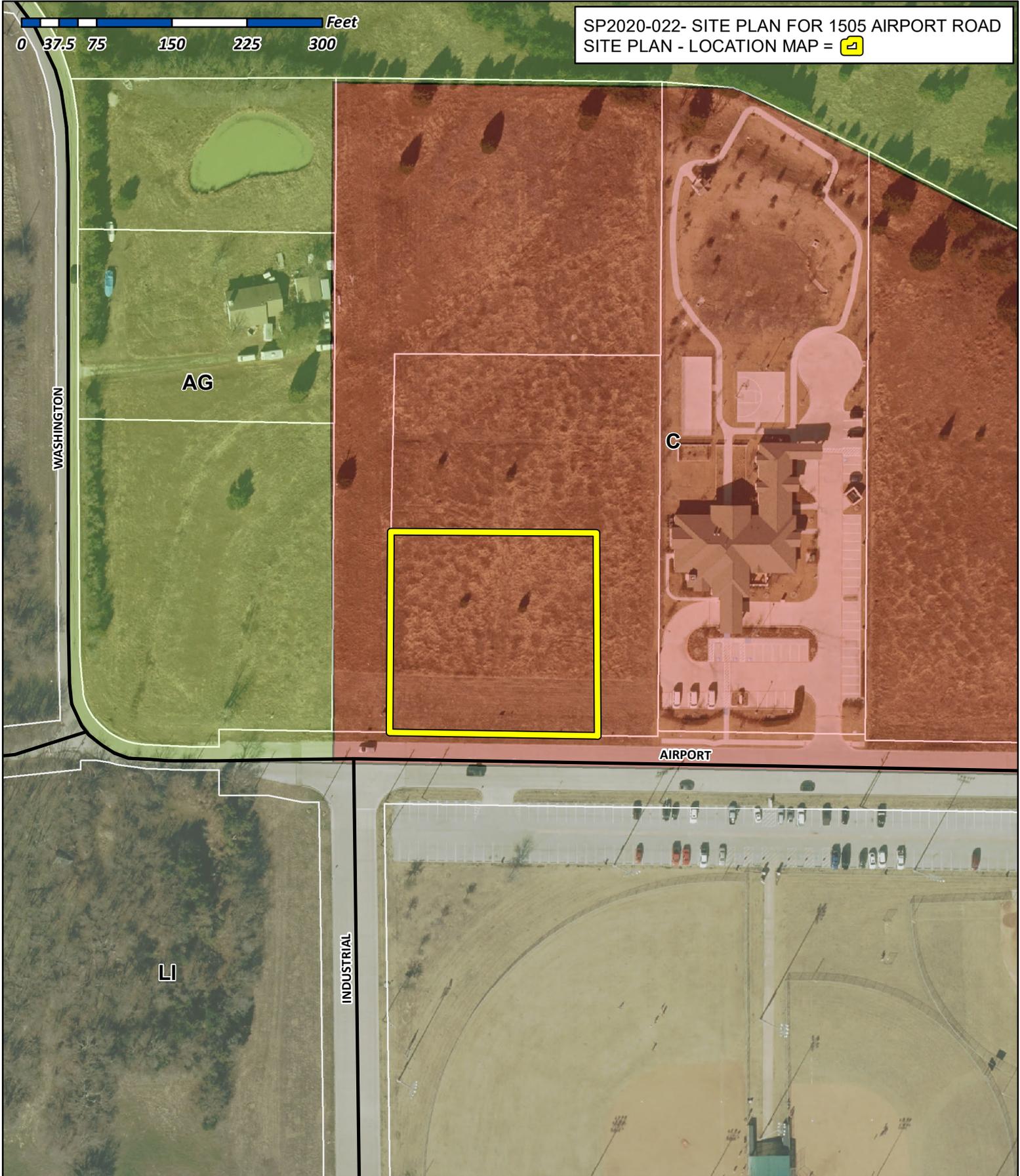
Owner's Signature

Notary Public in and for the State of Texas



0 37.5 75 150 225 300 Feet

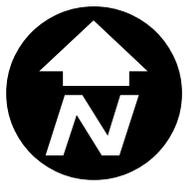
SP2020-022- SITE PLAN FOR 1505 AIRPORT ROAD  
SITE PLAN - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**ARCHITECTONICS TEXAS, LLC**  
 ARCHITECTURE - MANAGEMENT  
 2235 RIDGE RD, STE. 200  
 ROCKWALL, TEXAS 75087



NO.	DATE	REVISIONS/ISSUE

PROJECT NAME AND ADDRESS:  
**LAWSON REAL ESTATE HOLDINGS, LLC**  
 1505 AIRPORT RD.  
 ROCKWALL, TX 75087  
 LANDING POINT ADDITION

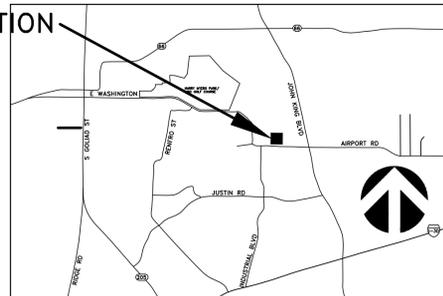
PROJECT No.	SR
DRAWN BY	RR
CHECKED BY	RR
DATE	09/02/2020
SCALE	1" = 10'
SHEET NO.	of

DRAWING NAME:  
**SITE PLAN**

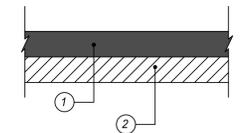
**S1.0**

SP2020-022

**PROJECT LOCATION**

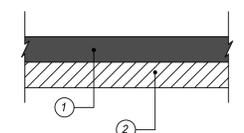


**VICINITY MAP**



**FIRE LANE PAVEMENT SECTION**  
NTS

- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



**PARKING AREA CONCRETE PAVEMENT SECTION**  
NTS

- 5"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

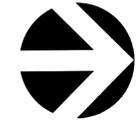
SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION	AREA	LOT PERCENTAGE
LOT	20,748 S.F.	100 %
IMPERVIOUS	12,041 S.F.	58 %
1 STORY SURFACE AREA	5,444 S.F.	26 %
PAVEMENT AREA	5,382 S.F.	26 %
PERVIOUS	8,707 S.F.	42 %
SIDEWALK AREA	1,215 S.F.	6 %
MAX. BUILDING HEIGHT PROPOSED	25'	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,988 S.F.	
PARKING PROVIDED	21	
PARKING REQ'D	17	

**APPROVED:**

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

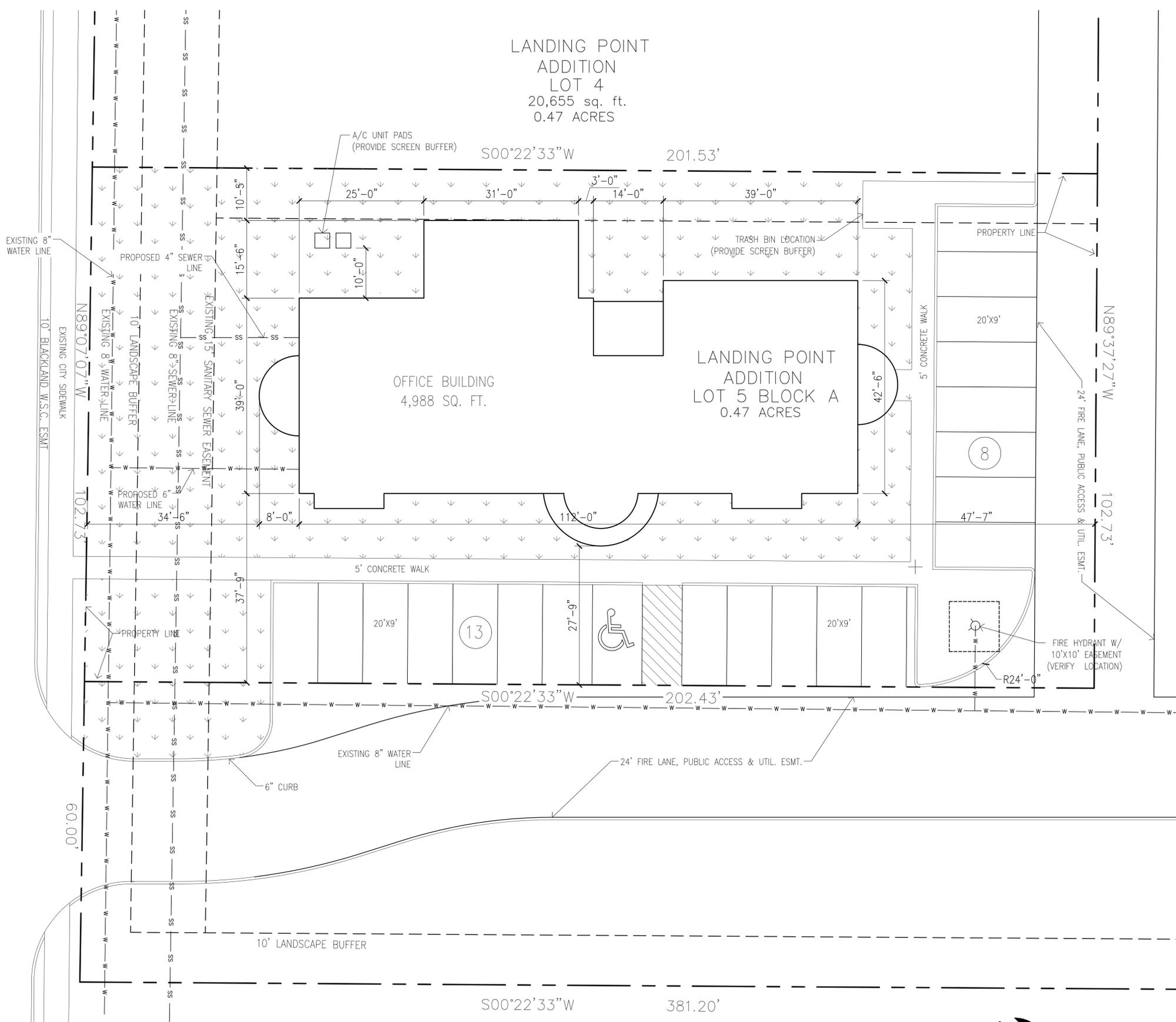
PLANNING AND ZONING COMMISSION      DIRECTOR OF PLANNING AND ZONING



**SITE PLAN**

SCALE: 1"=10'  
 0' 10' 20'

AIRPORT ROAD  
 (VARIABLE WIDTH R.O.W. PER PLAT)



LANDING POINT ADDITION  
 LOT 4  
 20,655 sq. ft.  
 0.47 ACRES

OFFICE BUILDING  
 4,988 SQ. FT.

LANDING POINT ADDITION  
 LOT 5 BLOCK A  
 0.47 ACRES

OWNER/DEVELOPER:  
 LAWSON REAL ESTATE HOLDINGS, LLC  
 4509 ROWLETT RD.  
 ROWLETT, TX 75088  
 (972)475-0644

ARCHITECT/PLANNER:  
 ARCHITECTONICS TEXAS, LLC  
 ROSS RAMSAY  
 (214)536-5306  
 2235 RIDGE RD. STE 201  
 ROCKWALL, TEXAS 75087



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ao	Acer rubrum 'October Glory' / Red Maple 4" cal. *	B & B	2
	Ci	Chilopsis l 'Lucretia Hamilton' / Desert Willow 3" cal. *	B & B	2
	Pe	Pinus edularica / Afghan Pine 6" cal. *	B & B	2
	Qv	Quercus virginiana / Southern Live Oak 6" cal. *	B & B	3
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	2
	Tax	Taxodium distichum / Bald Cypress 4" cal. *	B & B	1
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Hp	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT	5 gal	12
	Lm	Lantana montevidensis 'New Gold' / Gold Lantana	1 gal	11
	Lg	Leucophyllum frutescens 'Green Cloud' / Texas Ranger * ROCKWALL APPROVED PLANT	5 gal	12
	Ls	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	5 gal	5
	Lp	Loropetalum chinense 'Purple Diamond' / Fringe Flower * ROCKWALL APPROVED PLANT	5 gal	10
	Msc	Mahonia 'Soft Caress' / Soft Caress Mahonia	3 gal	3
	Ma	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass * ROCKWALL APPROVED PLANT	5 gal	6
	Mr	Muhlenbergia capillaris / Muhly Grass * ROCKWALL APPROVED PLANT	5 gal	9
	Ph	Pennisetum a. 'Hameln' / Dwarf Fountain Grass * ROCKWALL APPROVED PLANT	5 gal	16
	Rop	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary * ROCKWALL APPROVED PLANT	1 gal	6
	Sg	Salvia greggii 'Pink' / Pink Autumn Sage	3 gal	14
	Yp	Yucca pendula / Soft Leaf Yucca * ROCKWALL APPROVED PLANT	5 gal	3
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Af	Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave	5 gal	1
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Crr	Colorado River Rock / 3" to 6"	6" deep	50 sf
	Ch	Cynodon dactylon '419 Hybrid' / Bermuda Grass * ROCKWALL APPROVED PLANT	sod	4,044 sf
	Tb	Tejas Black / 5/8"	2" deep	1,553 sf

ALL TREES IN GRASS TO HAVE A 4' DIA. MULCH RING

**GENERAL LANDSCAPE NOTES:**

- INSTALLING LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.
- FINISH GRADE TO BE 9" BELOW FINISH FLOOR. SLOPE GRADE AT 2% MINIMUM AWAY FROM BUILDING.
- REFER TO CIVIL GRADING PLAN FOR ADDITIONAL GRADING AND DRAINAGE INFORMATION.

CONTRACTOR TO FIELD VERIFY ALL UTILITY LINES, EASEMENTS, SETBACKS, GRADES, HARDSCAPE AND PLANTING ELEMENTS PRIOR TO INSTALLATION. CONTRACTOR TO LAYOUT ALL PLANTING MATERIALS PRIOR TO INSTALLATION TO IDENTIFY ANY CONFLICTS WITH UTILITIES, EASEMENTS OR OTHER EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITY LINES OR ANY OTHER DAMAGE DONE TO THE SITE. CONTRACTOR TO CONTACT TEXAS 811 AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION ON SITE.

CONTRACTOR TO FOLLOW ANY AND ALL APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES.

CONTRACTOR RESPONSIBLE FOR PULLING ALL APPLICABLE PERMITS FOR WORK DONE ON SITE.

CONTRACTOR TO VERIFY ALL QUANTITIES ON THE LANDSCAPE PLANS. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

CONTRACTOR RESPONSIBLE FOR PROVIDING AND MAINTAINING A SAFE WORK ENVIRONMENT. CHECK WITH GENERAL CONTRACTOR REGARDING JOB SITE RULES AND REGULATIONS.

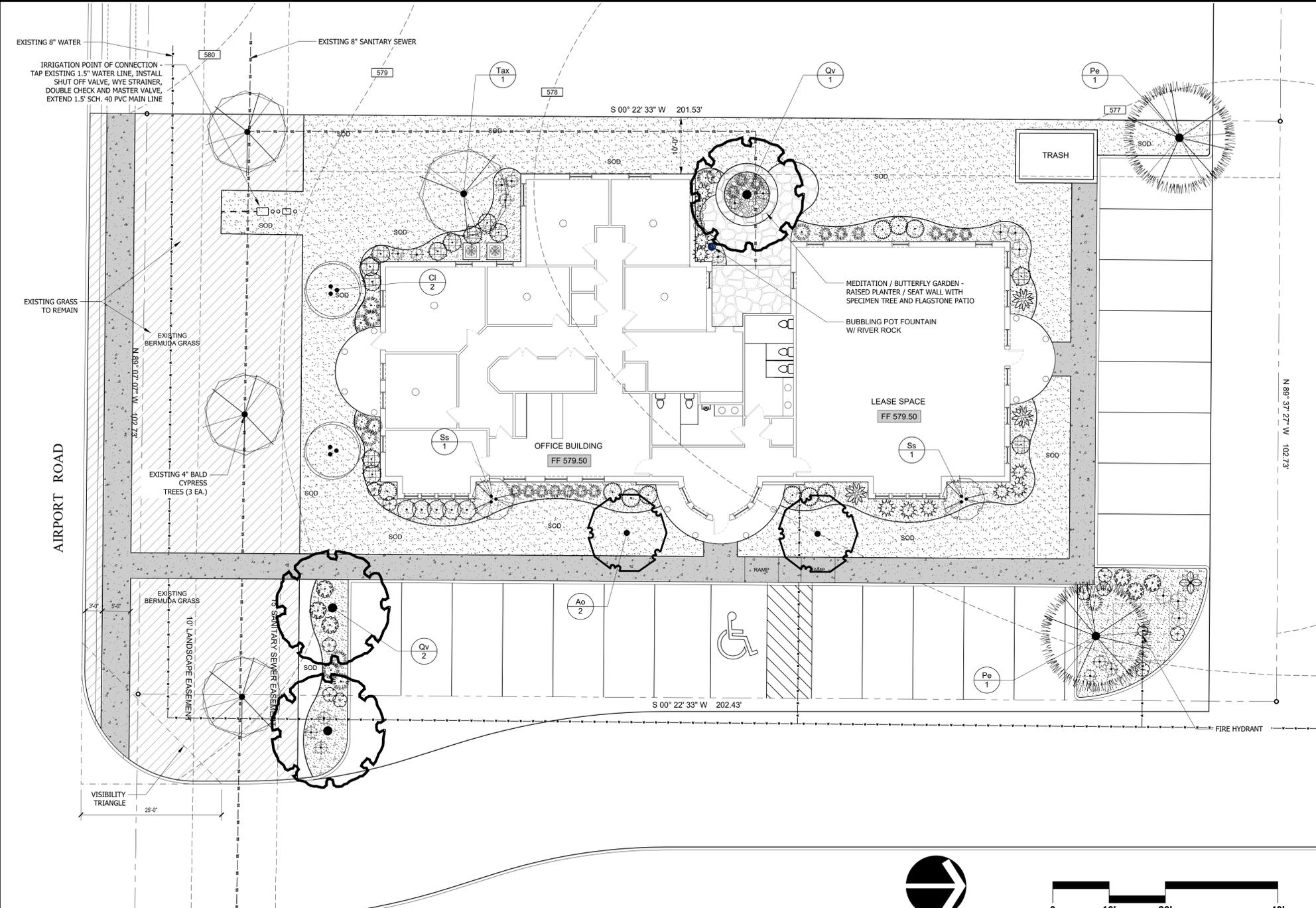
TREE PLANTING AREAS ARE TO PROVIDE A MINIMUM OF 12" OF FRIABLE NATIVE SOIL MEETING THE REQUIREMENTS OF THE PLANTING NOTES AND SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH OTHER TRADES AT THE DIRECTION OF THE GENERAL CONTRACTOR.

UPON REASONABLE COMPLETION OF THE SCOPE OF WORK, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WHEEL RUTS, SETTLING FORM SOIL AMENDMENT, EROSION OR OTHER COSMETIC LANDSCAPE SITE ELEMENTS PENDING APPROVAL BY GENERAL CONTRACTOR.

CONTRACTOR TO PROVIDE PHOTOS OF ALL NURSERY STOCK AT LEAST 1 MONTH PRIOR TO PURCHASE FOR APPROVAL BY OWNER'S REPRESENTATIVE.

CONTRACTOR TO PROVIDE A 1 YEAR WARRANTY FOR ALL PLANT MATERIAL AFTER FINAL ACCEPTANCE OF LANDSCAPE BY OWNER'S REPRESENTATIVE.



**A LANDSCAPE PLAN**

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 8 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

**ZONING: COMMERCIAL**

**REQUIRED PLANTINGS**

**A. STREET TREES:**  
**1 TREE FOR EVERY 50 L.F. OF FRONTAGE**  
 Airport Road - 102.73 / 50 = 2.05

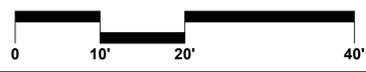
**2 TREES REQUIRED**  
**(3) EXISTING 4" TREES PROVIDED**

NOTE:  
 NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
LOT	20,748 S.F.	100 %
IMPERVIOUS	12,041 S.F.	58 %
1 STORY SURFACE AREA	5,444 S.F.	26 %
PAVEMENT AREA	5,382 S.F.	26 %
PERVIOUS	8,707 S.F.	42 %
SIDEWALK AREA	1,215 S.F.	6 %
MAX. BUILDING HEIGHT PROPOSED	25'	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,988 S.F.	
PARKING PROVIDED	21	
PARKING REQ'D	17	



NORTH



GRAPHIC SCALE SCALE: 1" = 10'-0"

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING



OWNER/DEVELOPER:  
 LAWSON REAL ESTATE HOLDINGS, LLC  
 4509 ROWLETT RD.  
 ROWLETT, TX 75088  
 (972)475-0644

ARCHITECT/PLANNER:  
 ARCHITECTONICS TEXAS, LLC  
 ROSS RAMSAY  
 (214)536-5306  
 2235 RIDGE RD. STE 201  
 ROCKWALL, TEXAS 75087

**B SCHEDULE AND NOTES**

**C LANDSCAPE NOTES AND CALCULATIONS**

Landscape Architecture  
 TX #5629 NV #583  
 2617 Jasmine Lane  
 Plano, TX 75074  
 voice (702) 339-0825  
 mike@mayerdesignstudio.com



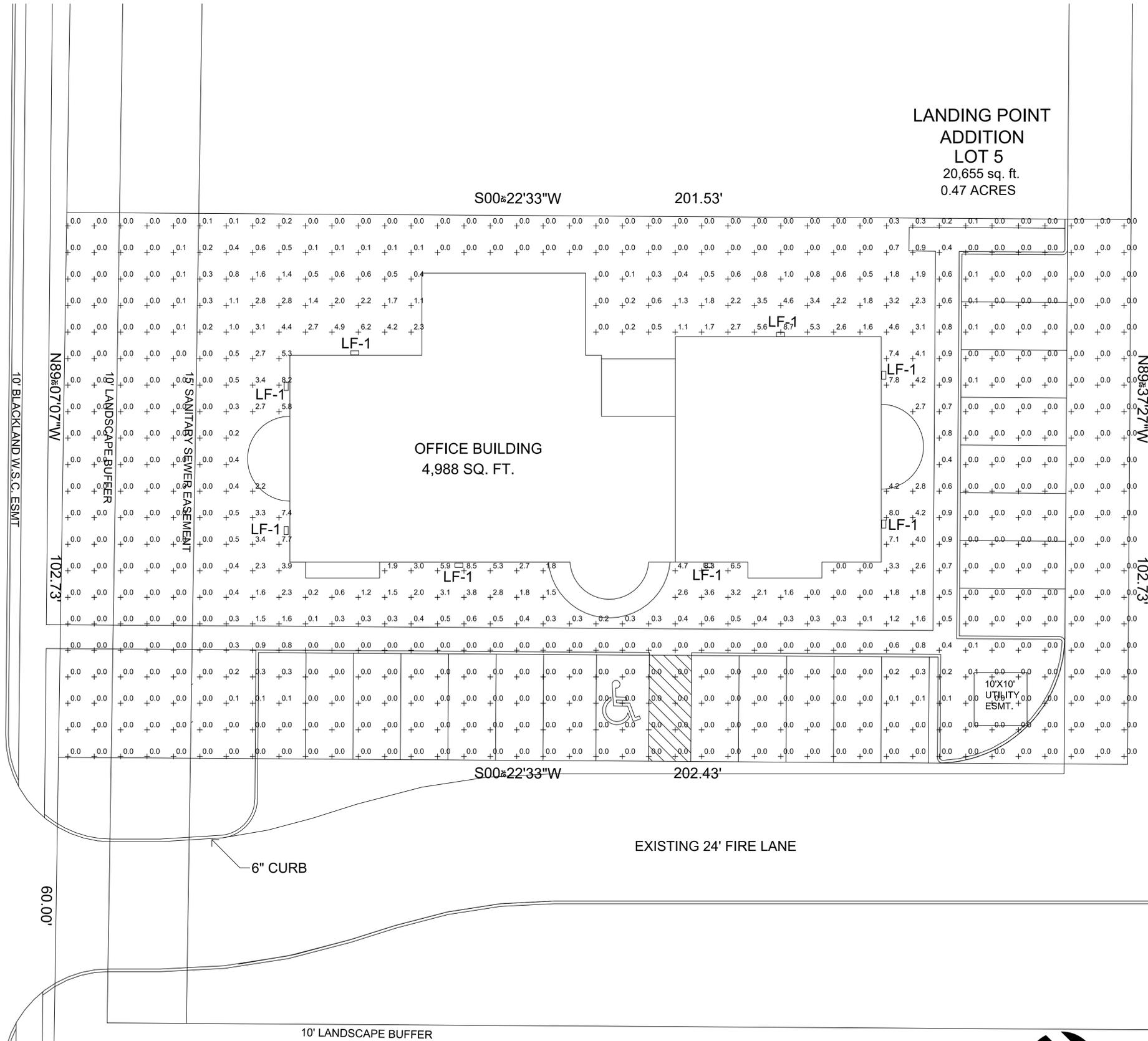
REVISIONS	DATE	BY

**PLANTING PLAN**

JOB:  
 Lawson Real Estate Holdings LLC  
 AIRPORT ROAD  
 ROCKWALL, TX 75087

20-10-102  
 AUGUST 14, 2020

AIRPORT ROAD  
(VARIABLE WIDTH R.O.W. PER PLAT)



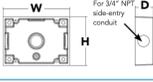


**WSQ LED Architectural Wall Sconce**

Inverted available with WLU option only.

**Specifications Luminaire**  
 Height: 9-3/8" (23.8 cm)  
 Width: 18" (45.7 cm)  
 Depth: 2.8" (7.1 cm)  
 Weight: 17 lbs (7.7 kg)

**Optional Back Box (BBW)**  
 Height: 4" (10.2 cm)  
 Width: 5-1/2" (14.0 cm)  
 Depth: 1-1/2" (3.8 cm)



Catalog Number: **LF-1**

Notes: **BLACK**

Type:

**Introduction**  
 Classic Architectural Wall Sconce with the LED technology. Long-life, maintenance-free product with typical energy savings of 80% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity. The WSQ LED is ideal for replacing existing 50-250W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

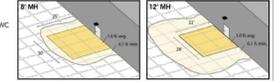
**Ordering Information**

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Options	Finish (optional)
WSQLED	P1	30K	SR2 Type II	MVOLT 1	Shipped included (Blank) Surface mount	Shipped installed	DS08ID Dark bronze
	P2	40K	SR3 Type III	240	BBW Surface-mounted back box	PE Photometric cell, button type 13	DR08ID Black
	P3	50K	SR4 Type IV	208		SF Single face (120, 277, 347V) 1	DR08AD Natural aluminum
	P4			240		DF Double face (208, 240, 480V) 1	DR08WD White
				277		DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	DS50SD Sandstone
				347		ED08WC Emergency battery backup, Certified in CA Title 20 MAERS (10W, -20°C) 1	DR08TD Textured dark bronze
				480		E10WH Emergency battery backup, Certified in CA Title 20 MAERS (10W, -20°C) 1	DR08RD Textured red
						WLU Wet location door for up orientation 1	DR08AD Natural aluminum
						PIR Motion/ambient light sensor 7	DS50TD Textured sandstone
						DS Dual switching 8	
						SPD Separate Surge Protection 9	
						Shipped separately	
						VG Vandal guard	
						WG Wire guard	

**Emergency Battery Operation**

The emergency battery backup (ED08WC & E10WH option) is integral to the luminaire - no external housing required. This design provides reliable emergency operation while maintaining the aesthetics of the product. All ED08WC & E10WH configurations include an independent secondary driver with an integral relay to immediately detect AC power loss.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours from the time supply power is lost, per International Building Code Section 1020 and 2018, 101 Life Safety Code Section 10.2) provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illumination of 1 fc average and 0.1 fc minimum of the P1 power package Type IV product in emergency mode.



WSQ P1 LED 40K SR4 MVOLT ED08WC  
 10" x 10" Gridlines  
 8" and 12" Mounting Height

**NOTES**

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Not available with 480V option.
- PE option is voltage specific.
- Single face SF requires 120V, 277V or 347V options. Double face DF requires 208V, 240V or 480V options.
- Not available with 347V or 480V. Not available with WLU.
- WLU not available with PIR, ED08WC or E10WH.
- See PFI Table for default settings.
- Only available with P1 & P4 packages. Provides 50/50 luminaire operation via two independent drivers and engages on two separate circuits.
- Not available with ED08WC, E10WH, WLU, SF, or DF. When ordered with product featuring motion sensor (PIR), only the primary power source leads will be controlled.
- See electrical section on page 2 for more details.

**LITHONIA LIGHTING** Commercial Outdoor One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-7378 • www.lithonia.com  
 © 2011-2019 Acuity Brands Lighting, Inc. All rights reserved. WSQ LED Rev. 04/2019

APPROVED:

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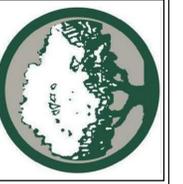
PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

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MAX. BUILDING HEIGHT PROPOSED	25'	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,988 S.F.	
PARKING PROVIDED	21	
PARKING REQ'D	17	



**ARCHITECTONICS TEXAS, LLC**  
 ARCHITECTURE - MANAGEMENT  
 2235 RIDGE RD., STE. 200  
 ROCKWALL, TEXAS 75087



DATE	REVISIONS
	DESCRIPTION/ISSUE

PROJECT NAME AND ADDRESS:  
**LAWSON REAL ESTATE HOLDINGS, LLC**  
 1505 AIRPORT RD.  
 ROCKWALL, TX 75087  
 LANDING POINT ADDITION

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	08/14/2020
SCALE	
SHEET NO.	of

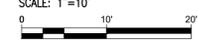
DRAWING NAME:  
**PHOTOMETRIC PLAN**

P1.0

SP2020-014

**PHOTOMETRIC PLAN**

SCALE: 1"=10'



OWNER/DEVELOPER:  
**LAWSON REAL ESTATE HOLDINGS, LLC**  
 4509 ROWLETT RD.  
 ROWLETT, TX 75088  
 (972)475-0644

ARCHITECT/PLANNER:  
**ARCHITECTONICS TEXAS, LLC**  
 ROSS RAMSAY  
 (214)536-5306  
 2235 RIDGE RD. STE 201  
 ROCKWALL, TEXAS 75087



1501 AIRPORT ROAD - FACING E



FABRAL- STANDING SEAM METAL ROOF  
MEDIUM BRONZE L09



CLASSIC STONE - AUSTIN LIMESTONE  
MAIN PORTION



PACKER BRICK- SHELLMANS BLUFF

PROJECT ADDRESS:  
1501 AIRPORT ROAD  
ROCKWALL, TEXAS 75087

OWNER/DEVELOPER:  
LAWSON REAL ESTATE  
HOLDINGS, LLC  
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:  
RAMSAY & REYES, LLC  
2235 RIDGE RD.  
ROCKWALL, TEXAS 75032



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** September 15, 2020  
**APPLICANT:** Patrick Wells  
**CASE NUMBER:** Z2020-033; *Specific Use Permit (SUP) for a Residential Infill for 210 Wade Drive*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on July 6, 1959 by *Ordinance No. 59-02*. The subject property along with the adjacent properties were platted as Lots 1 & 2, Block A, Richard Harris # 3 Addition, which was filed with Rockwall County on April 14, 1983. In 1984, single-family homes were constructed on both Lots 1 & 2. On April 15, 2019, the City Council approved a replat of these lots creating Lots 3, 4, & 5, Block A, Richard Harris #3 Addition. This replat subdivided off the back 75.68-feet of Lots 1 & 2 to establish the Lot 3 (*i.e. the subject property*). The subject property has remained vacant since the replat.

### PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 210 Wade Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 30-foot unimproved alleyway followed by two (2) lots zoned Single-Family 7 (SF-7) District. These properties are developed with single family homes. One (1) of the homes (*i.e. 201 S. Clark Street*), is located within the Old Town Rockwall Historic District and is identified as Medium Contributing on the 2020 Historic Resource Survey. Beyond this is E. Washington Street, which is classified as a *TXDOT4D* (*i.e. Texas Department of Transportation, four [4] lane divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Howard Dobbs Elementary School, which is Single-Family 7 (SF-7) District.

South: Directly south of the subject property are two (2) lots zoned Single-Family 7 (SF-7) District. These lots addressed 705 & 707 Hartman Street, and comprise the rest of the Richard Harris #3 Subdivision. Each of these lots have a single-family home situated on them that was built in 1984. Beyond this is Hartman Street, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) lots zoned Single-Family 7 (SF-7) District and which are located within the Old Town Rockwall Historic District. Two (2) of the homes are considered Non-Contributing, one (1) is Low-Contributing, and one (1) is Medium-Contributing according to the 2020 Historic Resource Survey.

East: Directly east of the subject property is Wade Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) lots zoned Single-Family 7 (SF-7) District. The 0.33-acre property has two (2) single-family homes situated on it, which are addressed 709 & 711 Hartman Street. The other lot (i.e. 207 Wade Drive) is 3.574-acres and is vacant. Beyond this is 713 Hartman Street, which is zoned Single-Family 7 (SF-7) District and has a ~3,500 SF home situated on it.

West: Directly west of the subject property are two (2) single-family homes situated on two (2) lots that are zoned Single-Family 7 (SF-7). These properties are addressed as 209 & 211 S. Clark Street. Beyond this is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Single-Family 7 (SF-7) District. These properties (i.e. 206, 208, 210, & 210 S. Clark Street) are developed with single-family homes.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of the Dawson Subdivision, which has been in existence for greater than ten (10) years, consists 16 lots, and is 100% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Wade Drive, Hartman Street, and S. Clark Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Wade Drive, Hartman Street, & S. Clark Street and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Wade Drive.
Year Built	1911-1999	N/A
Building SF on Property	984 SF – 2,203 SF	2,418 SF (2,418 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 10-Feet and 20-Feet	20-Feet
Side	The side yard setbacks greater than six (6) feet.	X>6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	Red, White, Grey, Brown, & Green,	Undefined by the Applicant
Roofs	Composite Shingles and Standing Seam Metal	Asphalt Composite Shingle (Primary) & Metal Roof (Secondary over Covered Porch)
Driveways/Garages	Driveways all front the same street the single-family home faces. Two (2) exceptions exist on two (2) corner lots.	The garage will be detached and located behind the home to the south-west.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

### **NOTIFICATIONS**

On August 18, 2020, staff mailed 50 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO. 22020-033

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Restatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

\$215.00 check

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup> In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION (PLEASE PRINT)

Address: 210 Wade STREET Rockwell TX 75087  
 Subdivision: RICHARD HARRIS NO. 3 ADDITION Lot 3 Block A  
 General Location: Hartman + Wade

### ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning: Residential Current Use: RESIDENTIAL  
 Proposed Zoning: Residential Proposed Use: RESIDENTIAL  
 9411 4 = Acreage: .22 Lots [Current]: LOT 3 Lots [Proposed]: LOT 3

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> Owner: <u>PATRICK S. WELLS</u>	<input type="checkbox"/> Applicant: <u>SAME AS OWNER INFO</u>
Contact Person: <u>PATRICK S. WELLS</u>	Contact Person: <u>"</u>
Address: <u>711 Stillwater DR.</u>	Address: <u>"</u>
City, State & Zip: <u>Rockwall, Tx. 75087</u>	City, State & Zip: <u>"</u>
Phone: <u>214-280-6469</u>	Phone: <u>"</u>
E-Mail: <u>pwells9@icloud.com</u>	E-Mail: <u>PWELLS9@ICLOUD.COM</u>

### NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared Patrick Wells [Owner] the undersigned, who stated the information on this application to be true and certified the following.

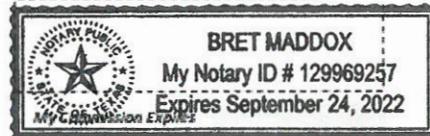
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 3rd day of August, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 3rd day of August, 2020.

Owner's Signature: Patrick S. Wells

Notary Public in and for the State of Texas

[Signature]



0 15 30 60 90 120 Feet

Z2020-033- SUP FOR 210 WADE DRIVE  
ZONING - LOCATION MAP = 



SF-7

WADE

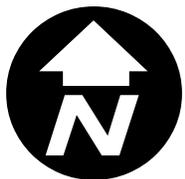
HARTMAN



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

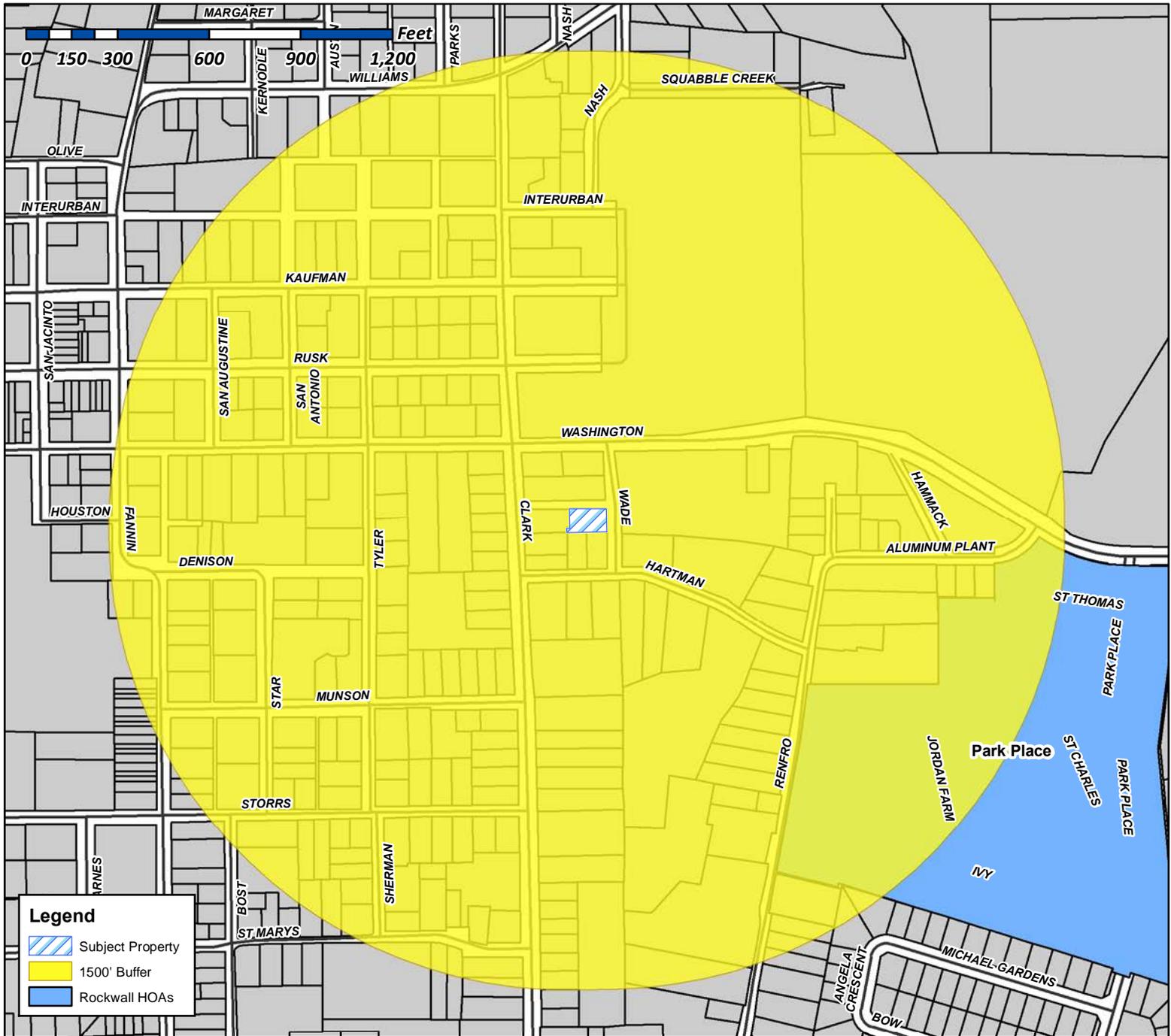
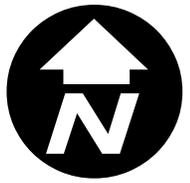




# City of Rockwall

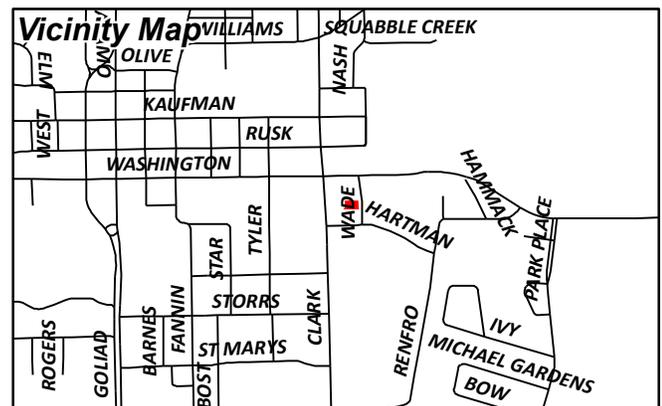
Planning & Zoning Department  
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Rockwall, Texas 75087  
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**Case Number:** Z2020-033  
**Case Name:** SUP for 210 Wade Drive  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 210 Wade Drive

**Date Created:** 8/14/2020  
**For Questions on this Case Call** (972) 771-7745



**From:** Gamez, Angelica  
**Sent:** Tuesday, August 18, 2020 5:00 PM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program  
**Attachments:** HOA Map (08.13.2020).pdf; Public Notice (08.18.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 21, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

#### **Z2020-033 SUP for Residential Infill at 210 Wade Street**

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

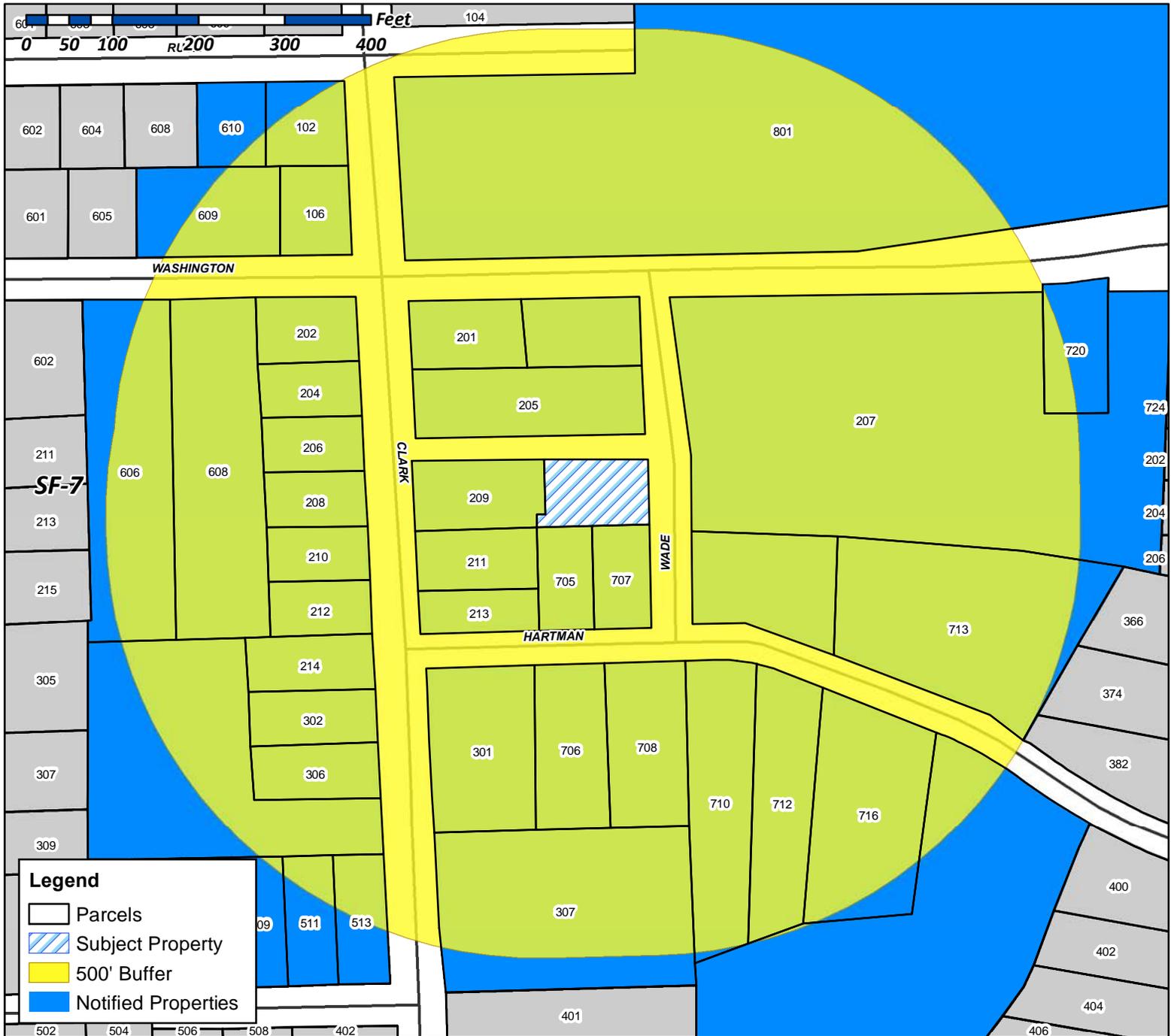
<http://www.rockwall.com/planning/>



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Legend**

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

**Case Number:** Z2020-033  
**Case Name:** SUP for 210 Wade Drive  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 210 Wade Drive



**Date Created:** 8/14/2020  
 For Questions on this Case Call (972) 771-7745

MASSEY GREGORY  
102 S CLARK  
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO  
106 S CLARK  
ROCKWALL, TX 75087

BOREN TERRY L ETUX  
113 S BERNICE DR  
GARLAND, TX 75042

CASEY CAMPBELL  
201 S CLARK  
ROCKWALL, TX 75087

RICH LISA  
202 S CLARK ST  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
204 S CLARK  
ROCKWALL, TX 75087

HENRY AMANDA A  
205 S CLARK  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
206 S CLARK  
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE  
207 WADEDR  
ROCKWALL, TX 75087

KOCH JEAN  
208 S CLARK  
ROCKWALL, TX 75087

LEFERE KEVIN M AND  
AMANDA HENRY  
209 S CLARK ST  
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD  
PARTNERSHIP  
210 GLENN AVE  
ROCKWALL, TX

MUNSON PARTNERS 1 LLC  
210 S CLARK  
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID  
211 S CLARK ST  
ROCKWALL, TX 75087

ZAKEM KYNSIE JO  
212 S CLARK ST  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
213 S CLARK  
ROCKWALL, TX 75087

SIMPSON MELISSA HUFFAKER  
214 S CLARK ST  
ROCKWALL, TX 75087

CAUBLE LINDA  
301 S CLARK ST  
ROCKWALL, TX 75087

BURGESS JULIA ANN  
302 S CLARK ST  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
306 S CLARK  
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L  
307 S CLARK  
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI  
309 GLENN AVE  
ROCKWALL, TX 75087

KOCH JEAN  
3720 MEDITERRANEAN  
ROCKWALL, TX 75087

SAMPLES ELVA NELL  
502 RENFRO ST  
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI  
508 HIGHVIEW  
ROCKWALL, TX 75087

AUBE JEAN-PAUL III  
509 MUNSON  
ROCKWALL, TX 75087

FLORES JAMES AND  
511 MUNSON  
ROCKWALL, TX 75087

BOREN TERRY L ETUX  
513 MUNSON  
ROCKWALL, TX 75087

CARSON HEATHER  
606 E WASHINGTON ST  
ROCKWALL, TX 75087

JONES CLYDE AND CHRISTY  
608 E WASHINGTON  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
608 E WASHINGTON  
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET  
609 EAST WASHINGTON STREET  
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN  
610 E RUSK ST  
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD  
PARTNERSHIP  
705 HARTMANST  
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI  
706 HARTMAN  
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD  
PARTNERSHIP  
707 HARTMANST  
ROCKWALL, TX 75087

SHELTON HEATHER  
708 HARTMAN ST  
ROCKWALL, TX 75087

RENDON MARCELINO J JR  
710 HARTMAN ST  
ROCKWALL, TX 75087

ANDERSON TREVOR  
711 HARTMAN ST  
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C  
711 STILLWATER DR  
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN  
712 HARTMAN ST  
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER  
713 HARTMAN  
ROCKWALL, TX 75087

HOOVER LINDA WEST-  
716 HARTMAN STREET  
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI  
720 E WASHINGTON  
ROCKWALL, TX 75087

ROCKWALL I S D  
801 E WASHINGTON  
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO  
815 T L TOWNSEND STE 100  
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L  
8660 COLONY CLUB DR  
ALPHARETTA, GA 30022

WOOD WILLIAM AND SANDIE  
8718 CLEARLAKE DR  
ROWLETT, TX 75088

FLORES JAMES AND  
PATRICIA ORR FLORES  
PO BOX 237  
ROCKWALL, TX 75087

AUBE JEAN-PAUL III  
PO BOX 868  
ROCKWALL, TX 75087

**ABBREVIATIONS:**

A/C	AIR CONDITIONED	MC	MEDICINE CABINET
ADJ	ADJUSTABLE	MICRO	MICROWAVE
A.F.F.	ABOVE FINISHED FLOOR	MIN	MINIMUM
BD	BOARD	N.T.S.	NOT TO SCALE
BLDG	BUILDING	O.H.	OVERHEAD
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	O.C.E.W.	ON CENTER EACH WAY
CER	CERAMIC	PL	PLATE
CL	CENTER LINE	PLAS	PLASTIC
CLG	CEILING	POWDR	POWDER
CLO	CLOSET	REF	REFERENCE
C.O.	CASED OPENING	REFG	REFRIGERATOR
COL	COLUMN	REQ	REQUIRED
CONC	CONCRETE	RM	ROOM
CONT	CONTINUOUS	R/S	ROD & SHELF
COORD	COORDINATE	SCHED	SCHEDULE
DBLE	DOUBLE	S.F.	SQUARE FEET
DIM	DIMENSION	SH	SHelf
DN	DOWN	SHLVS	SHELVES
D.S.	DOWN SPOUT	SIM	SIMILAR
DW	DISH WASHER	SL	SLOPE
DWR	DRAWER	SPR	SPRINKLER
ELEC	ELECTRIC	S.S.	STAINLESS STEEL
ELEV	ELEVATION	STL	STEEL
EO	EQUAL	STOR	STORAGE
ESMT	EASEMENT	STRUCT	STRUCTURAL
EXT	EXTERIOR	T&G	TONGUE & GROOVE
EXIST	EXISTING	THK	THICK
F.F.E.	FINISH FLOOR ELEVATION	T.O.	TOP OF
FLR	FLOOR	T/R	TREAD & RISER
FREZ	FREEZER	TV	TELEVISION
GALV	GALVANIZED	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	U.C.	UNDER COUNTER
GL	GLASS	U.M.	UNDER MOUNT
GYP	GYP SUM	UTIL	UTILITY
Hb	HOSE BIB	VEST	VESTIBULE
H.C.	HANDICAPPED	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	W.C.	WATER CLOSET
INSUL	INSULATION	W/D	WASHER & DRYER
LAV	LAVATORY	WD	WOOD
LAM	LAMINATE	W.H.	WATER HEATER
MANUF	MANUFACTURER	W.I.	WROUGHT IRON
MAX	MAXIMUM	WP	WATER PROOF
MECH	MECHANICAL	WRM	WARMING

**GRAPHIC SYMBOLS:**

1. ---	INDICATES HIDDEN, FUTURE, ABOVE OR EXISTING	7. [Symbol]	INDICATES STEP
2. X/AX.X	INDICATES SECTION	8. [Symbol]	DOOR MARK
3. X/AX.X	INDICATES BUILDING SECTION	9. [Symbol]	WINDOW MARK
4. X/AX.X	INDICATES ELEVATION VIEW	10. [Symbol]	INDICATES BREAK LINE
5. [Symbol]	INDICATES DETAIL	11. #Hb	FROST PROOF HOSE BIB
6. [Symbol]	INDICATES ELEVATION CONTROL	12. X.G.K.	GAS KEY @ FIREPLACE

NOT ALL SYMBOLS USED

**DESCRIPTION OF PROPERTY:**

**LEGAL DESCRIPTION:** PROPERTY IS LOCATED AT 210 WADE DRIVE, RICHARD HARRIS SUBDIVISION NO.3 ADDITION, NASH STREET, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 BEING A REPLAT OF LOTS 1 & 2 BLOCK A, A RICHARD HARRIS SUBDIVISION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SIDE 44, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

**ZONING:** FRONT YARD SETBACK: 20'-0"  
SIDE YARD SETBACK: 6'-0"  
REAR YARD SETBACK: 8'-0"

**LOT COVERAGE:** SITE SQUARE FOOTAGE: 9,411 S.F.  
ACTUAL COVERAGE: 2,907 S.F.

**AREA CALCULATIONS:**

**AREAS:**

1ST FLOOR A/C SQ. FT.:	1,872 S.F.
2ND FLOOR A/C SQ. FT.:	546 S.F.
TOTAL HOUSE A/C SQ. FT.:	2,418 S.F.
COVERED PATIO SQ. FT.:	595 S.F.
TOTAL HOUSE SQ. FT.:	3,013 S.F.
DETACHED GARAGE SQ. FT.:	440 S.F.

**SHEET INDEX:**

SHEET	CONTENTS
ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN / ROOF PLAN / GENERAL NOTES
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLAN & SCHEDULE
A4.1	EXTERIOR ELEVATIONS / WALL SECTION
A4.2	EXTERIOR ELEVATIONS / WALL SECTION
A4.3	BUILDING SECTION / WALL SECTION
A5.1	INTERIOR ELEVATIONS



ISSUED DATE:  
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:  
**Modern Craft Construction, LLC**  
2102 FM 1141, Rockwall, Texas 75087  
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:  
**WELLS RESIDENCE**  
210 WADE DRIVE, ROCKWALL, TX 75087  
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

**A1.1**



**DOOR SCHEDULE**

NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
1	FOYER	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
2	HALL	3'-0" x 8'-0" x 1 3/4"	B	LOCKSET	
3	DINING	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
4	MASTER BEDROOM	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	
5	MASTER CLOSET	(2) 3'-0" x 8'-0" x 1 3/4"	D	-	
6	MASTER BATH	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
7	MASTER SHOWER	2'-6" x 8'-0" x 1/2"	E	-	
8	MASTER CLOSET	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
9	LAUNDRY	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
10	CRAFT ROOM	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
11	POWDER	2'-4" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
12	STORAGE	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
13	BEDROOM #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
14	BATH #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET

NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
15	LOFT CLOSET	2'-8" x 6'-8" x 1 3/4"	C	PASSAGE	
16	BATH #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
17	BEDROOM #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
18	BEDROOM #2 CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	D	-	

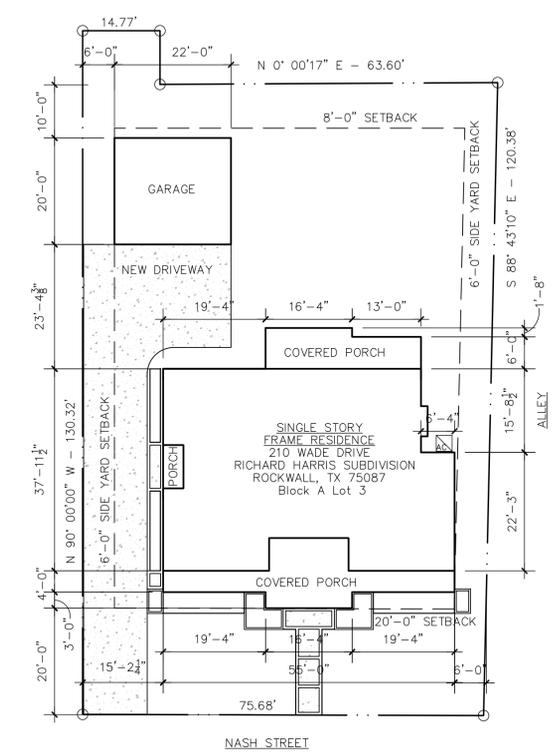
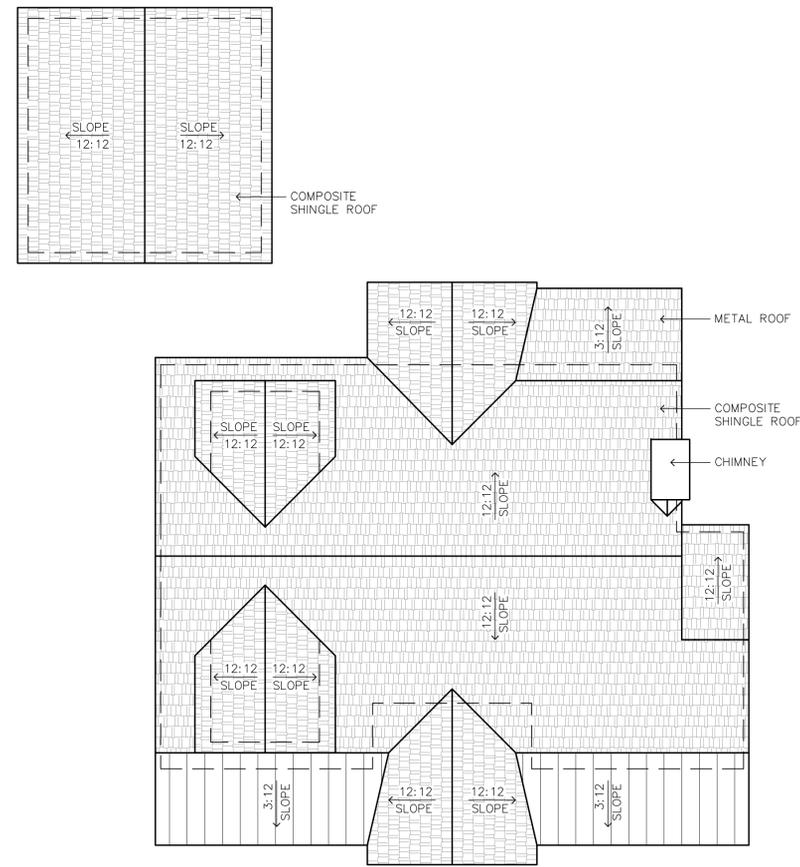
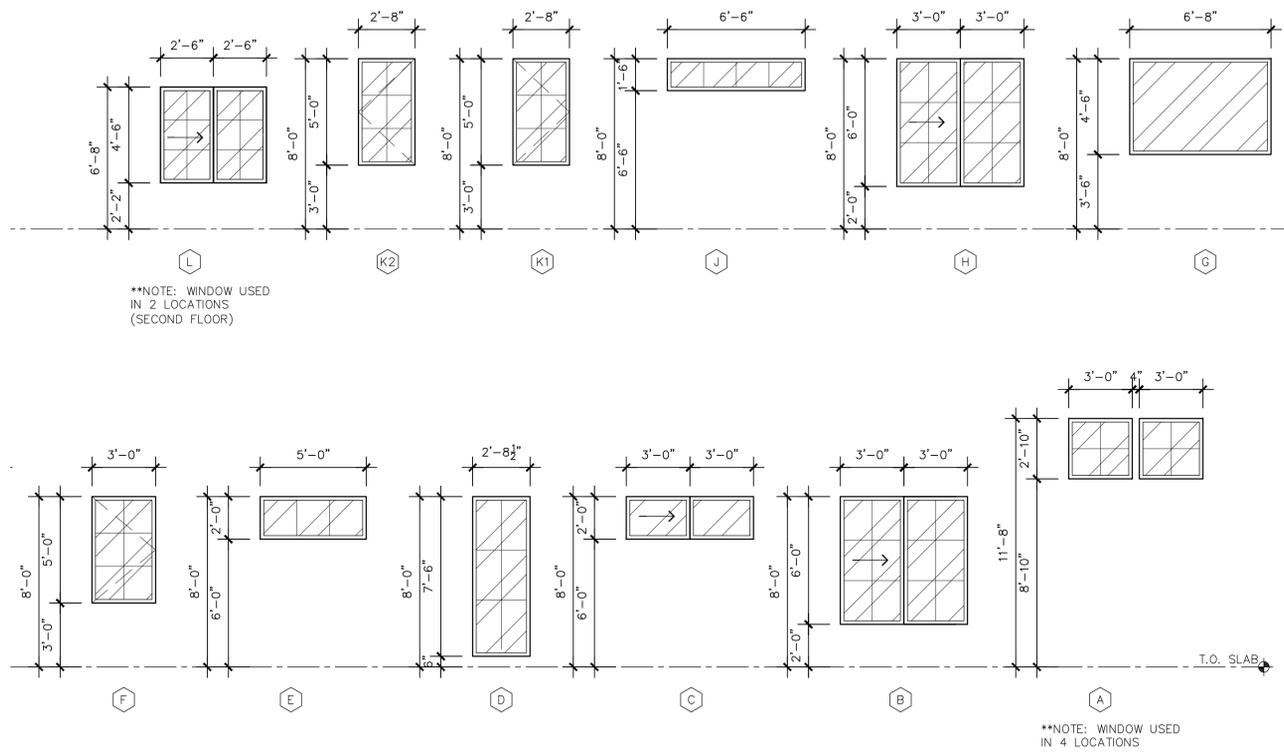
  

**DOOR TYPES**

A	CUSTOM FRONT DOOR- REFER. WINDOW & DOOR ELEVATIONS (2/A1.2)
B	EXTERIOR SWING DOOR
C	SOLID CORE INTERIOR DOOR
D	INTERIOR SLIDING DOOR
E	GLASS SWING DOOR

**ENERGY SPECIFICATIONS:**

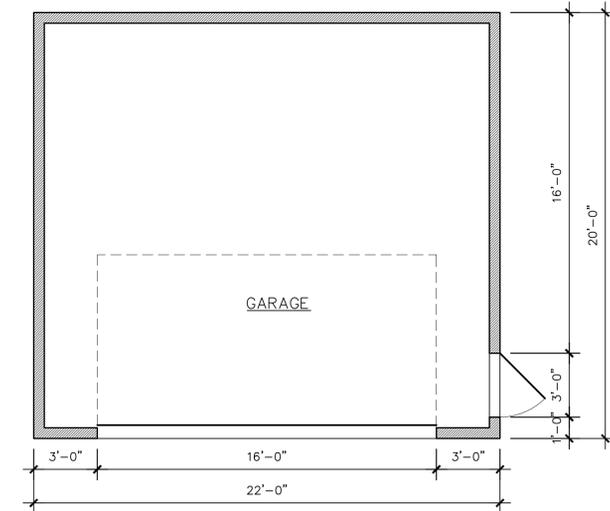
1	ALL FRAMED ENVELOPE: 2X4 WALLS: 3.5" OPEN CELL FOAM SLAB FLOOR SYSTEM 8" DEEP CEILING SYSTEM: 6" OPEN CELL
2	WINDOWS AND DOORS: LOW E GLAZING- UF=.30 SHGV=.20
3	HVAC: 16 SEER
4	GAS FURNACE
5	TANKLESS WATER HEATER: GAS



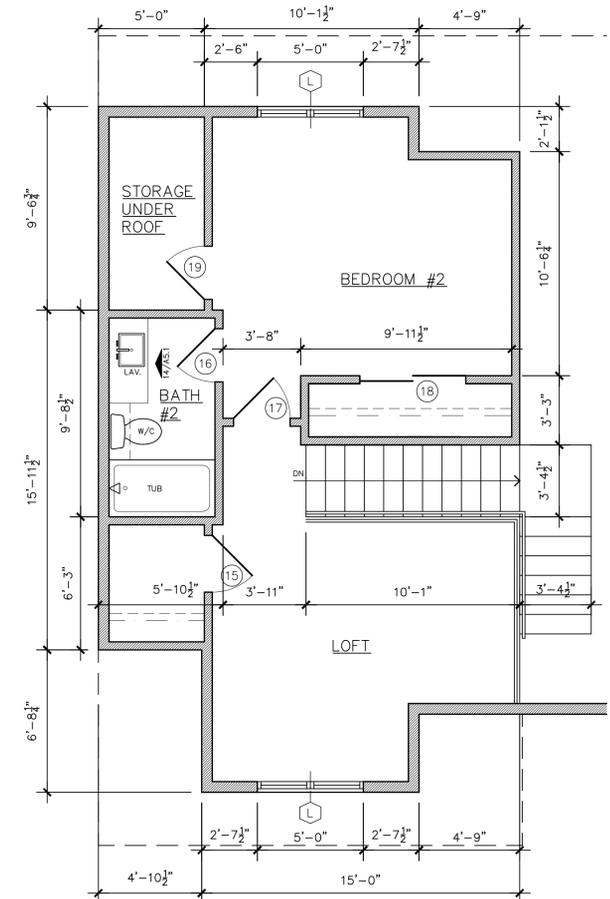
**3 WINDOW & DOOR ELEVATIONS**  
SCALE: 1/4" = 1'-0"

**2 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

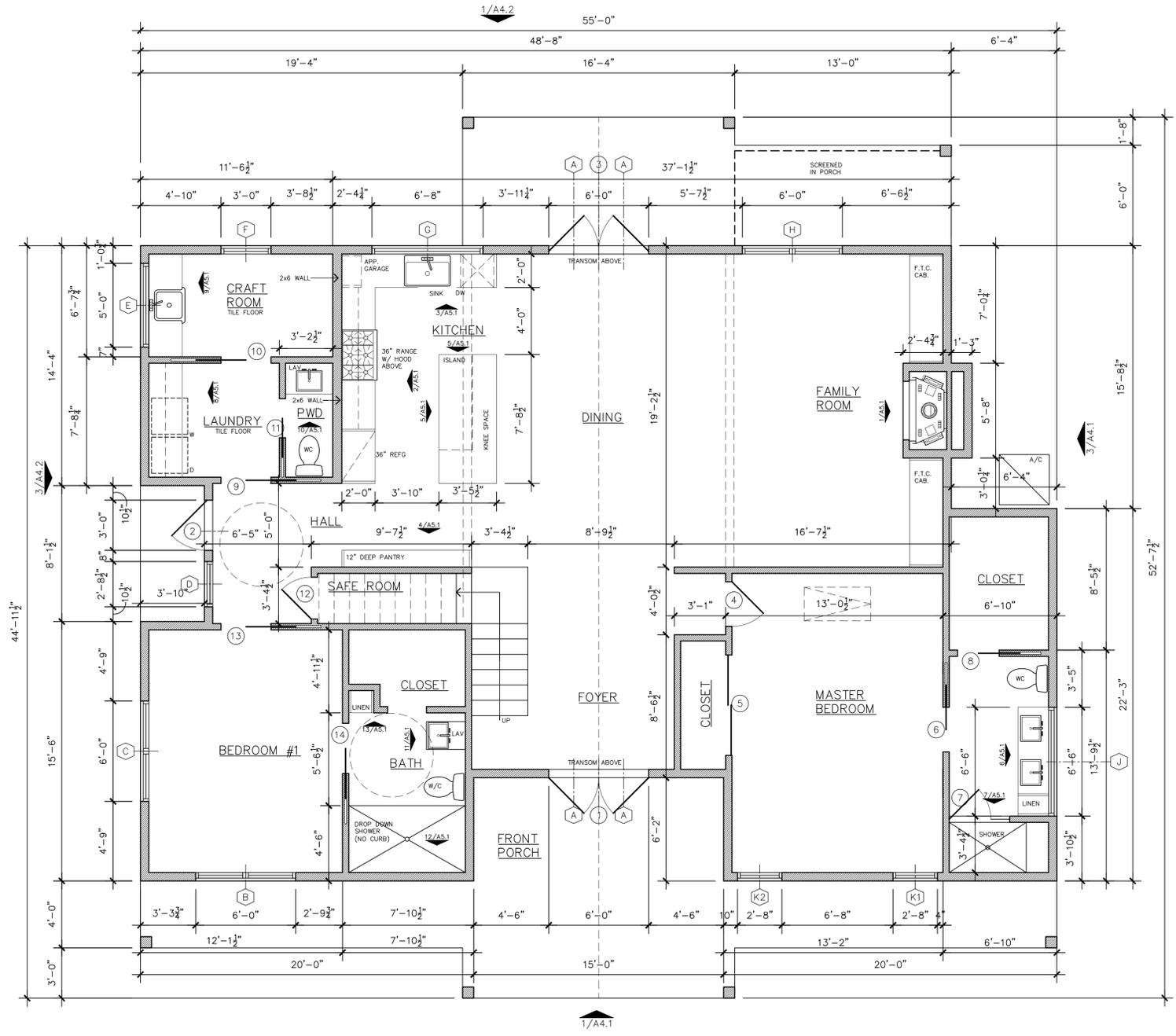
**1 SITE PLAN**  
SCALE: 1/16" = 1'-0"



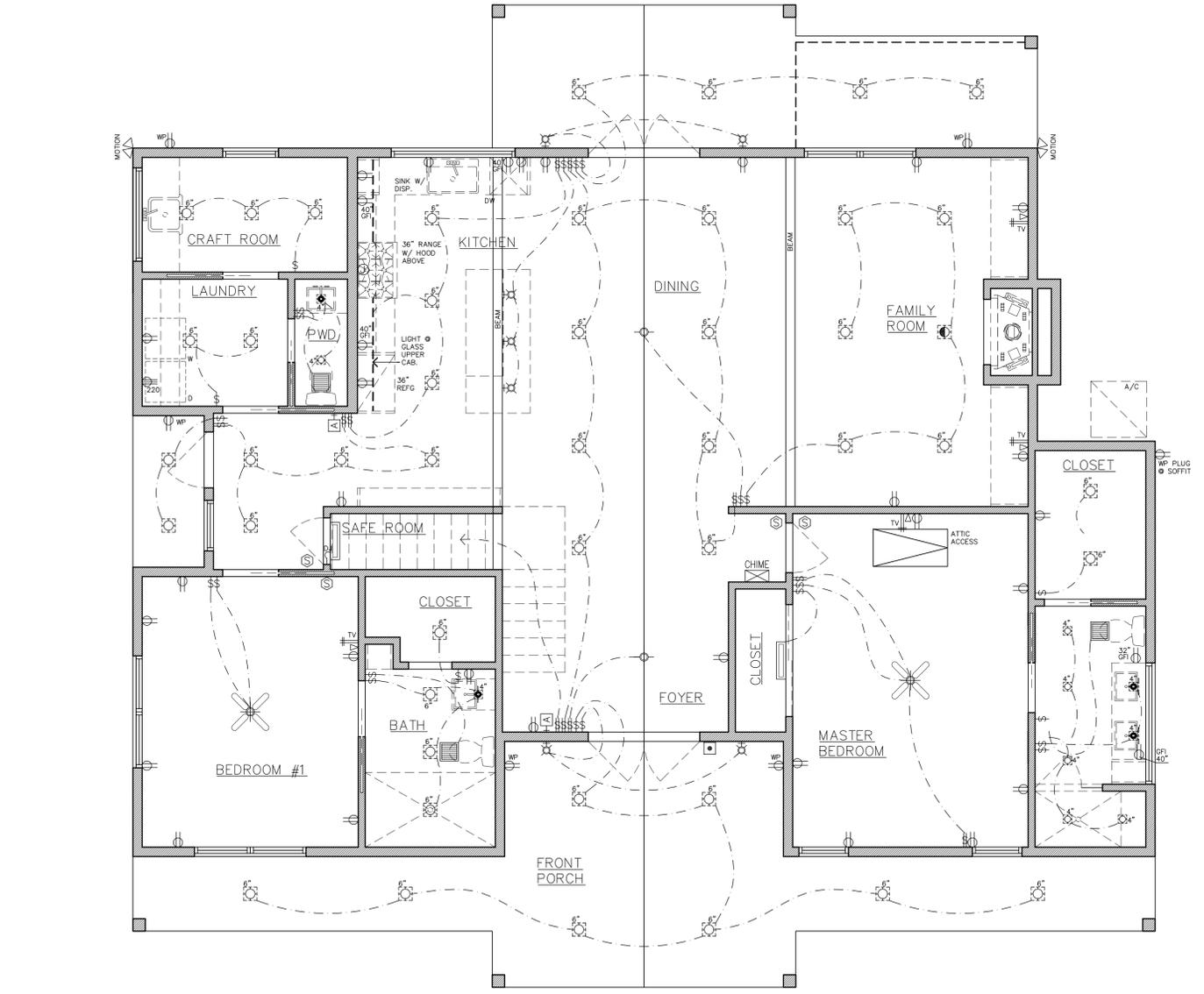
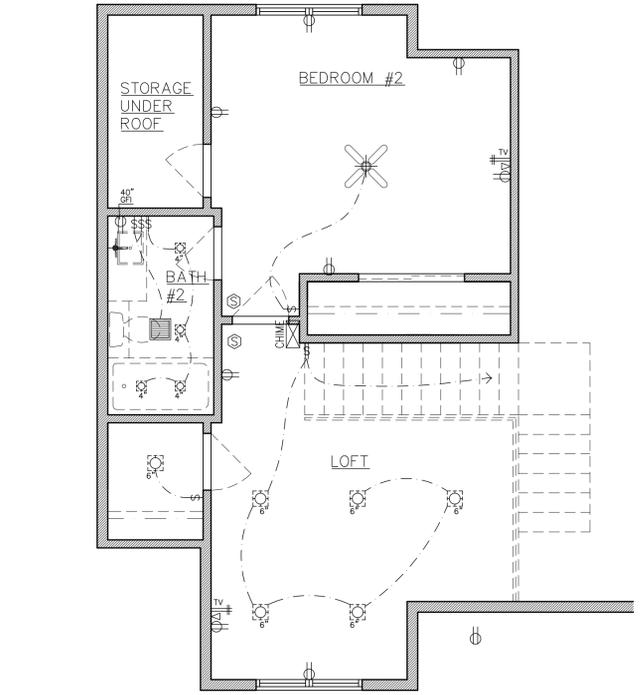
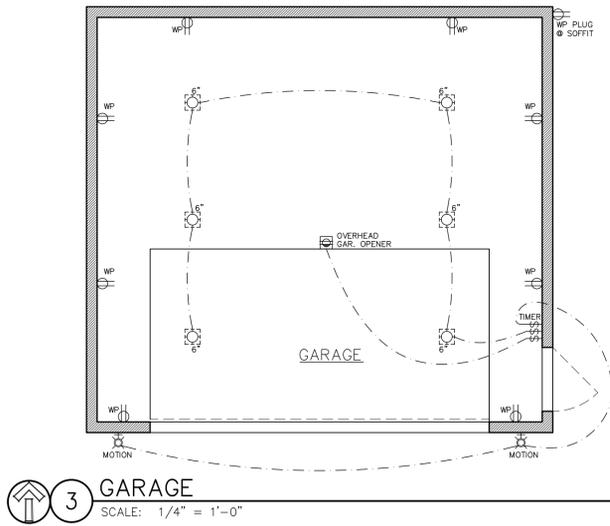
**3 GARAGE**  
SCALE: 1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

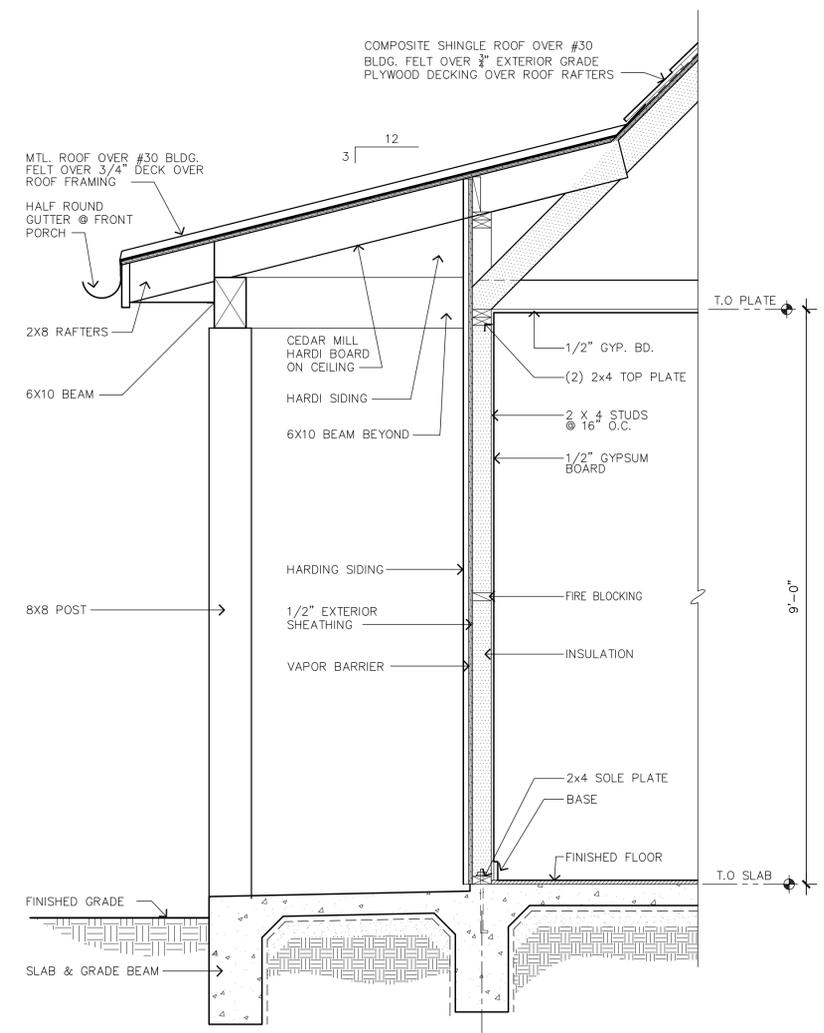


**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ELECTRICAL SCHEDULE:**

DUPLEX @ 12" A.F.F., OTHERS NOTED. WP - WATERPROOF HOUSING HZL - HORIZONTAL FACEPLATE GFI - GROUND FAULT	
220V OUTLET	JUNCTION BOX
4" RECESSED INCANDESCENT FIXTURE W/ 2" SPOT APERTURE	6" RECESSED INCANDESCENT FIXTURE
4" RECESSED INCANDESCENT FIXTURE W/ SLOTTED APERTURE	4" RECESSED INCANDESCENT FIXTURE
SINGLE POLE SWITCH (ROCKER) - VERIFY COLOR D - DIMMERS DJ - DOOR JAMB SWITCH 3-WAY SWITCH	
T.V. CABLE G6 WIRE	ALARM KEYPAD
SMOKE DETECTOR W/110V. JUNCTION BOX	CHIME DOOR BELL CHIME
DOOR BELL	CEILING EXHAUST FAN
CEILING MOUNTED FIXTURE TO BE SELECTED	WALL MOUNTED SCONCE TO BE SELECTED
DECORATIVE PENDANT- TO BE SELECTED	EXTERIOR FLOOD LIGHT ON MOTION DETECTOR / PHOTO CELL
CEILING MOUNTED FLUORESCENT FIXTURE	
1 LAMP FLUORESCENT, W/ LENS COVER AT CLOSET	
CEILING FAN	
NOTE: SOME SYMBOLS MAY NOT BE USED.	



2 MASTER BEDROOM WALL SECTION  
 SCALE: 3/4" = 1'-0"



3 NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

ISSUED DATE:  
 24, JUNE 2020

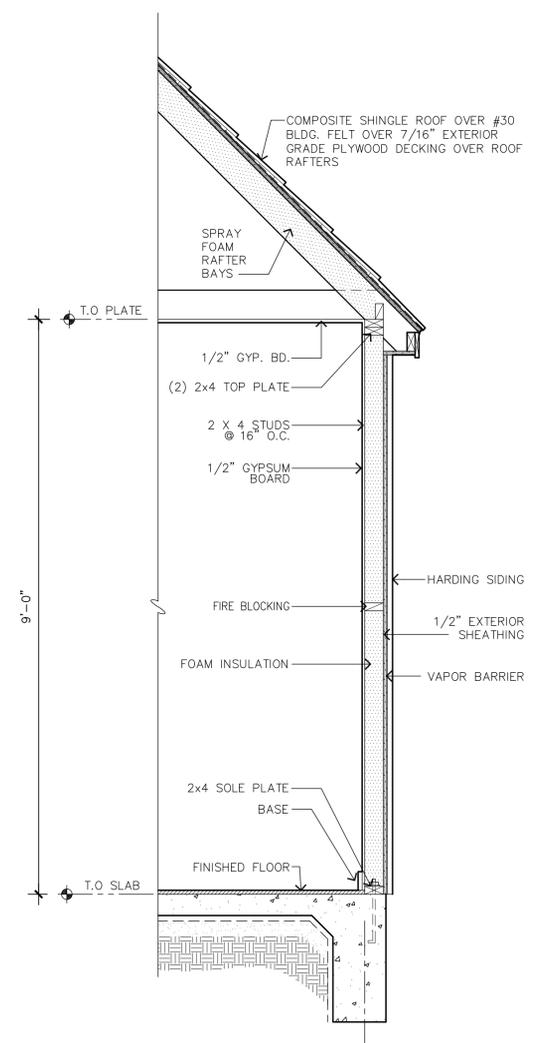
REVISION:

DRAWINGS PREPARED BY:  
 Modern Craft Construction, LLC  
 2102 FM 1141, Rockwall, Texas 75087  
 Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:  
 WELLS RESIDENCE  
 210 WADE DRIVE, ROCKWALL, TX 75087  
 RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

A4.1

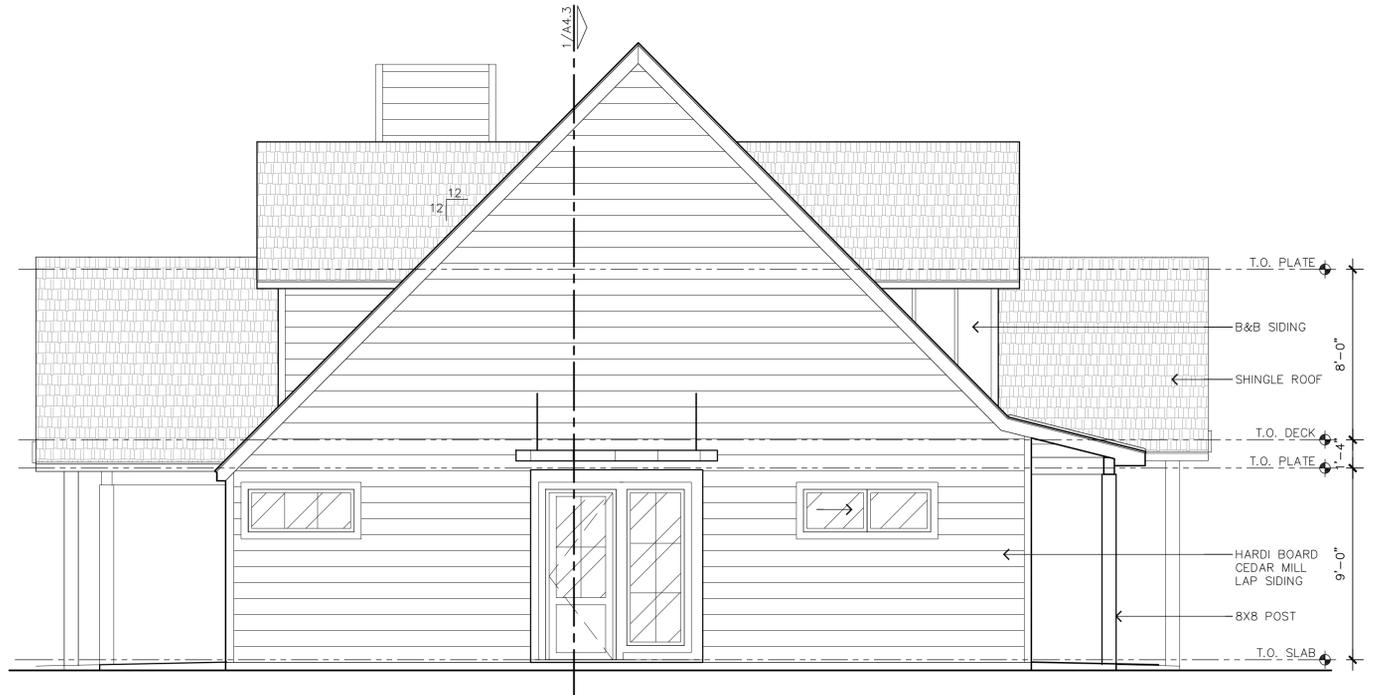
**2 MASTER BEDROOM WALL SECTION**  
SCALE: 3/4" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"





ISSUED DATE:  
24, JUNE 2020

REVISION:

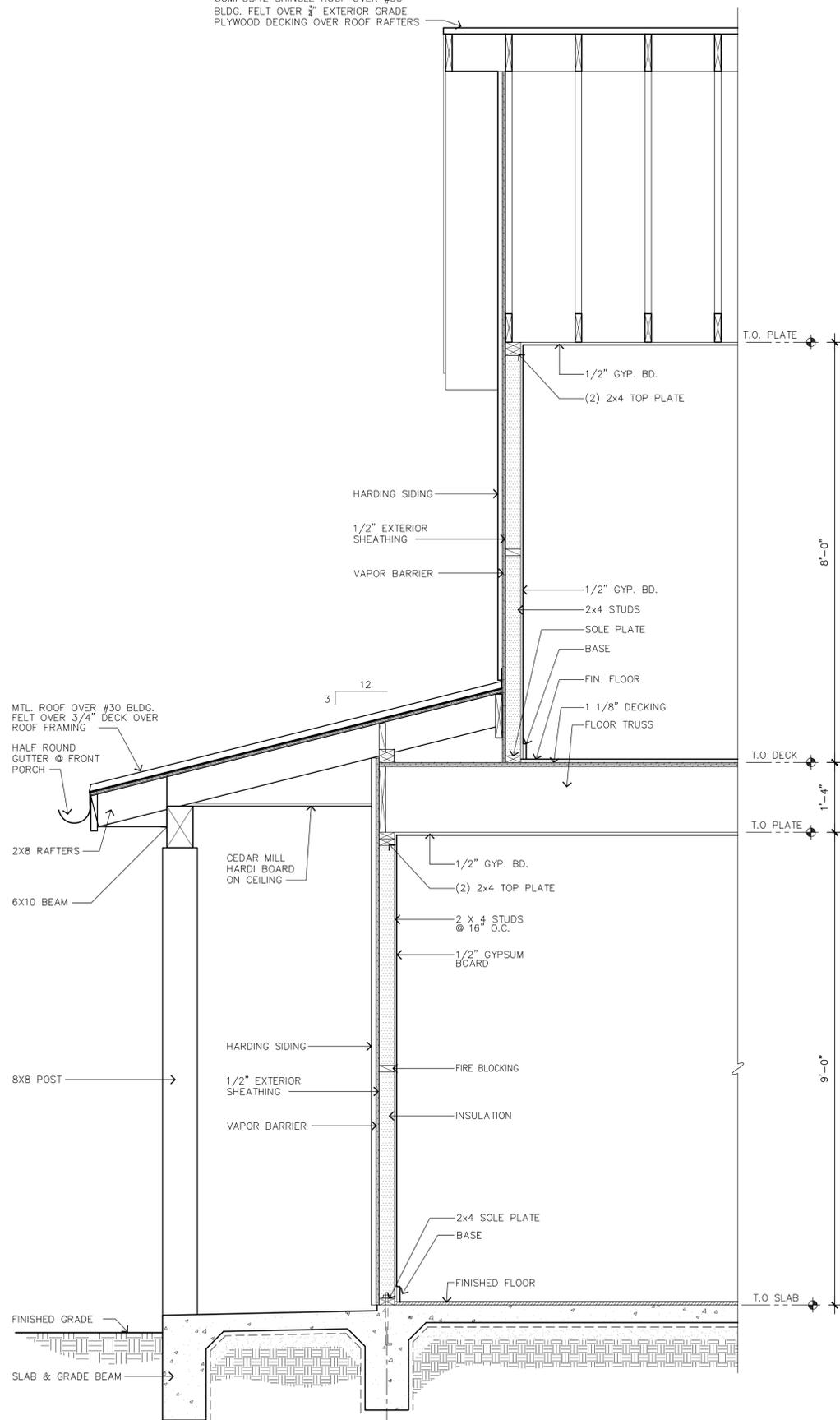
DRAWINGS PREPARED BY:  
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2102 FM 1141, Rockwall, Texas 75087  
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:  
**WELLS RESIDENCE**  
210 WADE DRIVE, ROCKWALL, TX 75087  
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

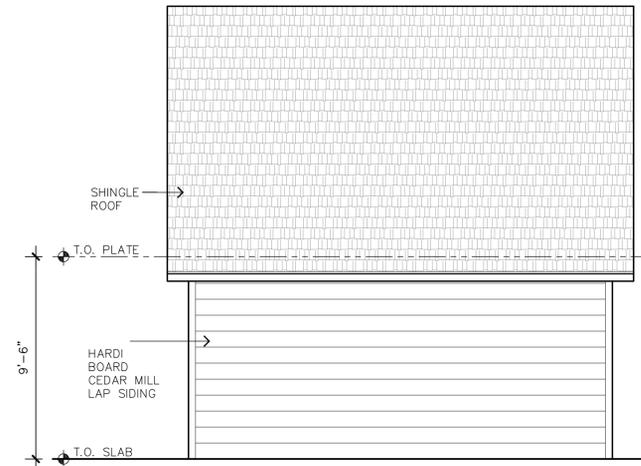
A4.3



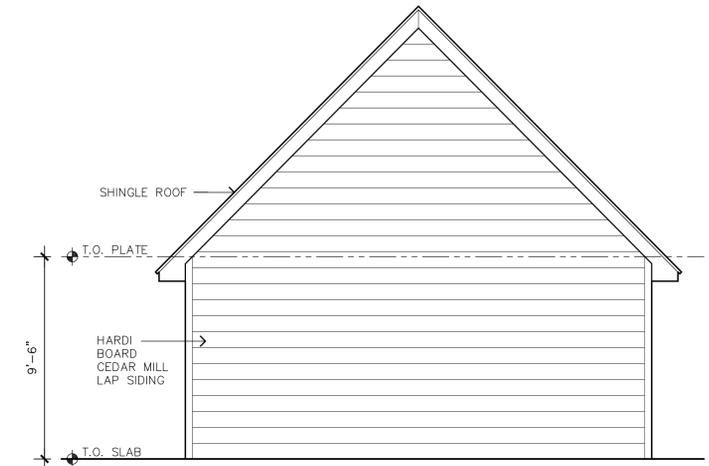
COMPOSITE SHINGLE ROOF OVER #30  
BLDG. FELT OVER 3/4" EXTERIOR GRADE  
PLYWOOD DECKING OVER ROOF RAFTERS



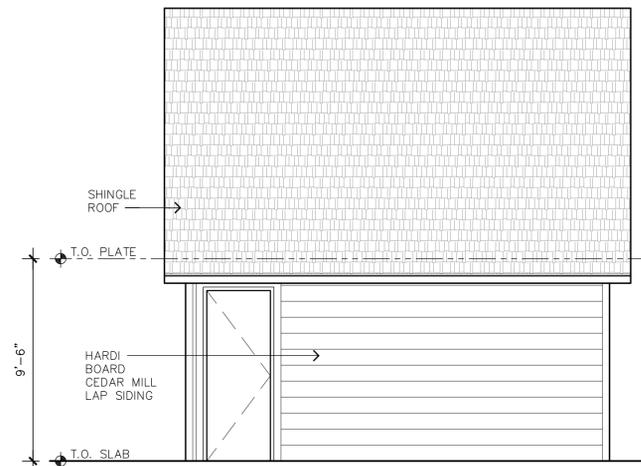
2 MASTER BEDROOM WALL SECTION  
SCALE: 3/4" = 1'-0"



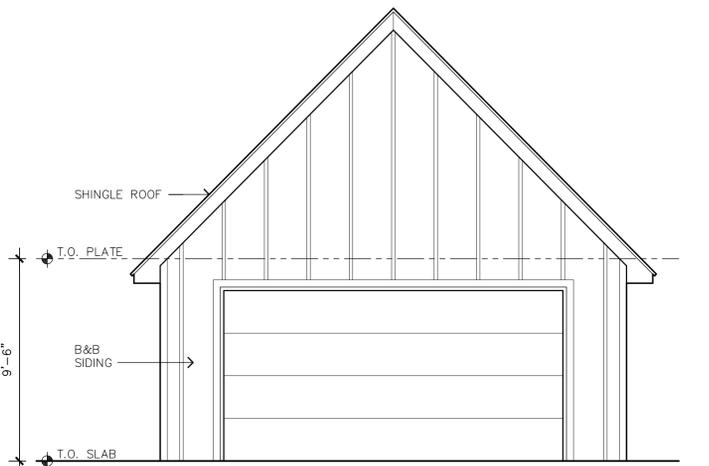
6 GARAGE SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



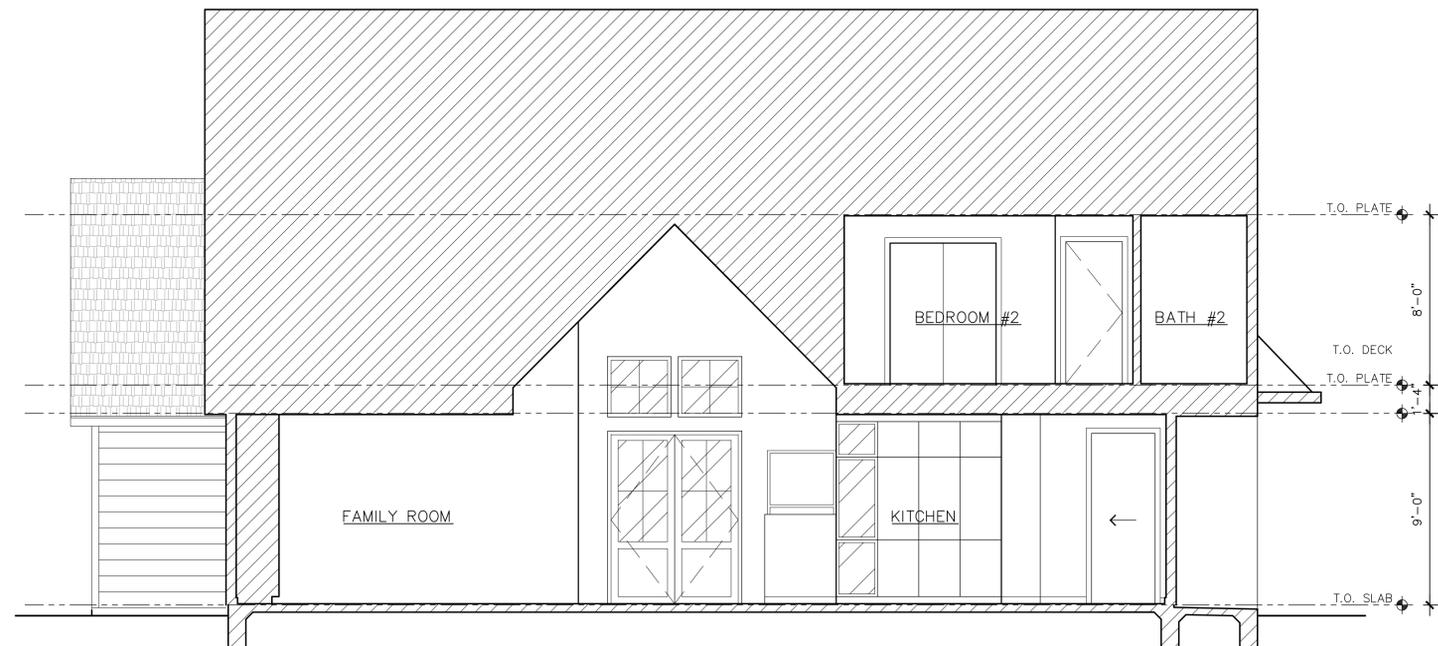
5 GARAGE WEST ELEVATION  
SCALE: 1/4" = 1'-0"



4 GARAGE NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 WEST BUILDING SECTION / ELEVATION  
SCALE: 1/4" = 1'-0"



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.216-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, RICHARD HARRIS #3 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF OCTOBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 21, 2020

2<sup>nd</sup> Reading: October 5, 2020

**Exhibit 'A'**  
**Location Map and Survey**

Address: 210 Wade Drive

Legal Description: Lot 3, Block A, Richard Harris #3 Addition



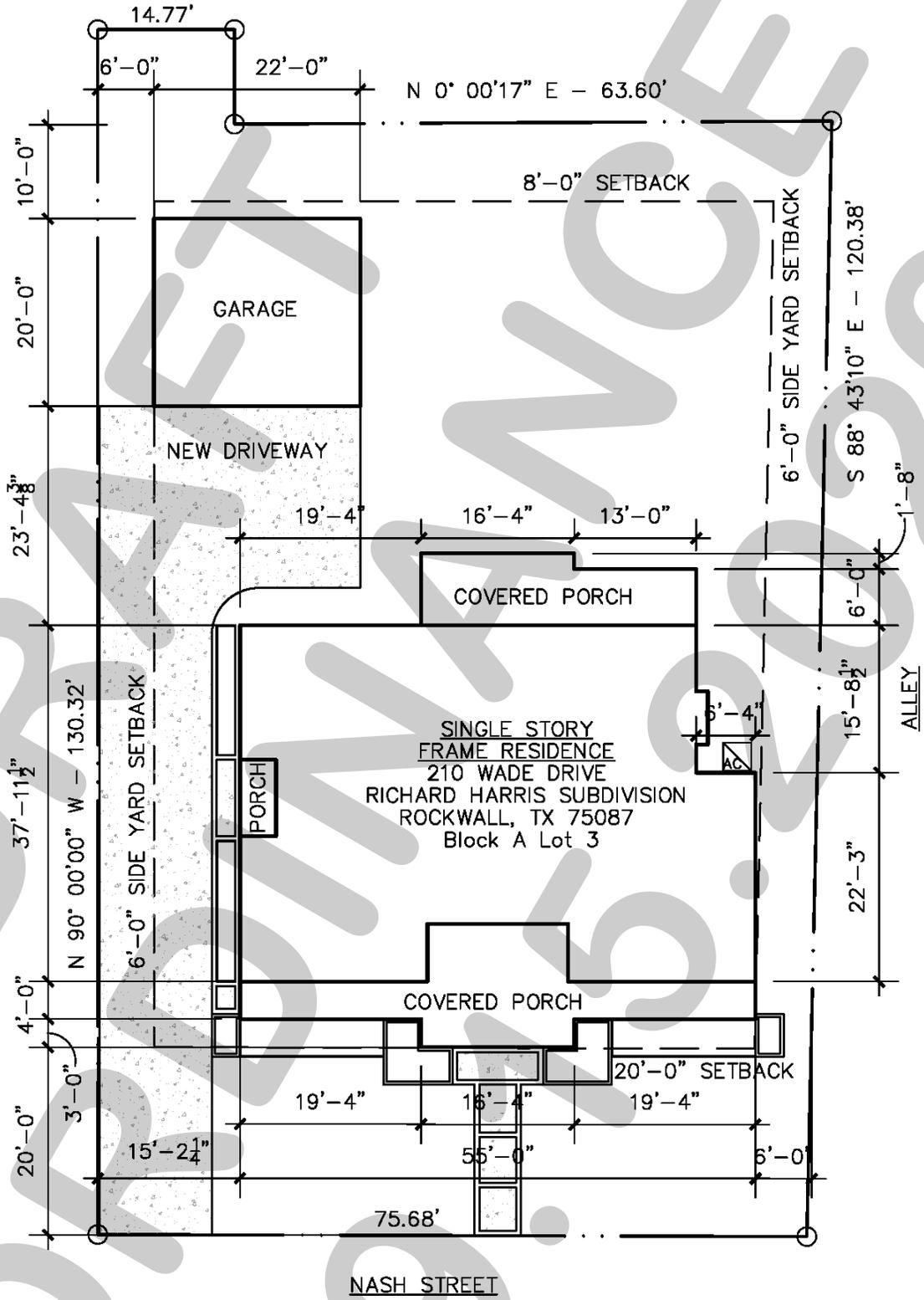
**City of Rockwall**

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Exhibit 'B':**  
Residential Plot Plan



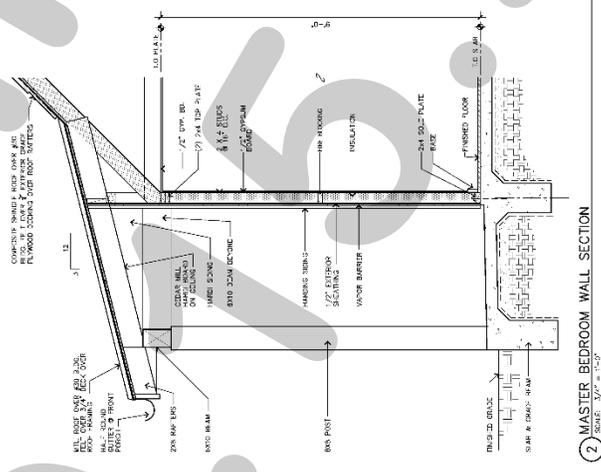
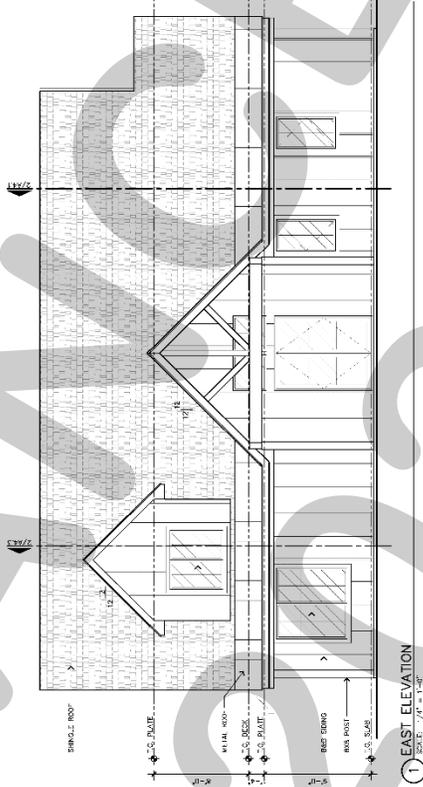
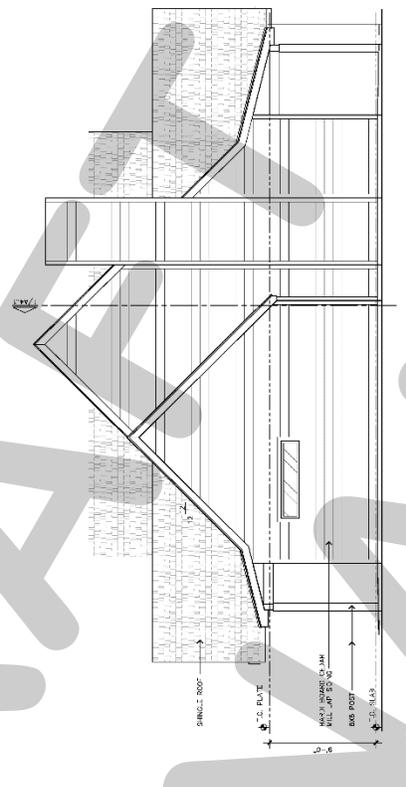
**SITE PLAN**

SCALE: 1/16" = 1'-0"

Exhibit 'C':  
Building Elevations



SHEET NO. 24, JUN 2020	1. SHEET NO. 24, JUN 2020 2102 W. WADDE DRIVE, ROCKWALL, TEXAS 75087 MODERN CRAFT CONSTRUCTION, LLC	2102 WADDE DRIVE, ROCKWALL, TX 75087 WELLS RESIDENCE 1. SHEET NO. 24, JUN 2020	A4.1
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## CITY OF ROCKWALL

### PLANNING AND ZONING COMMISSION MEMORANDUM

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** September 15, 2020  
**SUBJECT:** Z2020-034; *Specific Use Permit (SUP) for a Residential Infill for 118 Mischief Lane*

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On September 11, 2020, the applicant sent a letter requesting to withdraw *Case No. Z2020-034 (see Exhibit 'A')*. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means the Planning and Zoning Commission will be required to vote on whether or not to accept the applicant's withdraw request. Should the City Council have any questions staff will be available at the September 15, 2020 meeting.

*Exhibit 'A': Applicant's Letter*

**From:** [Stemes, Carolyn](#)  
**To:** [Miller, Ryan](#); [Gamez, Angelica](#)  
**Subject:** RE: Project Comments: Z2020-034 - Request to Withdraw Case for SUP  
**Date:** Friday, September 11, 2020 11:01:53 AM

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Good morning Ryan-

We, Tilson Custom Homes on the behalf of Major Rush, formally request the withdraw of our case for the SUP at 118 Mischief Lane, due to our current designs being in violation to the HOA recorded restrictions.

Please let me know if you need any additional information.

Thanks,  
Carolyn Stemes  
Tilson Homes  
411 Durham Dr.  
Houston, Texas 77007  
713-293-3104

[stemesc@tilsonhome.com](mailto:stemesc@tilsonhome.com)



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 15, 2020  
**APPLICANT:** Major Rush  
**CASE NUMBER:** Z2020-034; *Specific Use Permit (SUP) for a Residential Infill for 118 Mischief Lane*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision were later approved on July 2, 1985. This established the subject property as Lot 12, Block A, Chandler's Landing, Phase 20. The subject property remains zoned Planned Development District 8 (PD-8) and has remained vacant since it was originally platted.

### PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 118 Mischief Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are Phases 2 & 3 of the Signal Ridge subdivision. Phase 2 of the Signal Ridge subdivision consists of 57 townhomes on 3.98-acres, and Phase 3 of the Signal Ridge subdivision consists of 113 townhomes on 8.88-acres. Beyond this is Phase 4 of the Signal Ridge subdivision, which consists of 125 townhomes on 6.78-acres. All of these phases of the Signal Ridge Subdivision are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

South: Directly south of the subject property is Mischief Lane, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. South of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property is Mischief Lane, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive

Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. East of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

West: Directly west of the subject property is 120 Mischief Lane, followed by Phase 3 of the Signal Ridge subdivision. Phase 3 of the Signal Ridge subdivision consists of 113 townhomes on 8.88-acres. 120 Mischief Lane is zoned Planned Development District 8 (PD-8) for single-family residential land uses, and Phase 3 of the Signal Ridge subdivision is zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Phase 20 of the Chandler's Landing Subdivision, which has been in existence since 1985 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Mischief Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Mischief Lane	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Mischief Lane are oriented towards Mischief Lane, with the exception of 132 Mischief Lane. This house is oriented towards Yacht Club Drive	The front elevation of the home will face onto Mischief Lane.
Year Built	1990-2016	N/A
Building SF on Property	2,097 SF – 4,000 SF	[Estimated] 2,360 SF
Building Architecture	Traditional Brick/Stone Suburban Residential with One (1) Modern Home	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	-15½-Feet and 7½-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	24.40625-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Combination of HardiPlank Siding and Brick
Paint and Color	White, Cream, Red, Pink, Beige, Grey, and Brown	Undefined by the Applicant
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Mischief Lane with the orientations being <i>flat front entry, garage forward entry, side entry, and 'J' or traditional swing entry.</i>	The garage will be situated 12.25-feet in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home by 12.25-feet. Staff should point out that since the construction range for housing in this area extends from 1990-2016, the houses in this area already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted to be built in this configuration today*). In addition, there is one (1) other home (*i.e. 116 Mischief Lane*) that appears to have a similar garage configuration as to what is being proposed by the applicant; however, this aspect is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Mischief Lane and the proposed building elevations in the attached packet.

### NOTIFICATIONS

On May 27, 2020, staff mailed 286 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water's Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, and Chadler's Landing Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had one (1) notice in favor of the request and one (1) notice opposed to the request; however, staff should note that the notice opposed to the request stated that "(t)his street should be only single-family residences."

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22020-034

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 118 Mischeif Lane

Subdivision Chandler's Landing Phase 20

Lot 12

Block A

General Location

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use Vacant lot

Proposed Zoning

Proposed Use Private SFR

Acreage

Lots [Current]

Lots [Proposed]

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Major Rush

Applicant

Contact Person Carolyn Sternes - Tilson Homes

Contact Person

Address 411 Durham Dr.

Address

City, State & Zip Houston, TX. 77007

City, State & Zip

Phone 713-293-3104

Phone

E-Mail sternes@tilsonhome.com

E-Mail

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Major Rush [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of Aug, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of Aug, 2020.

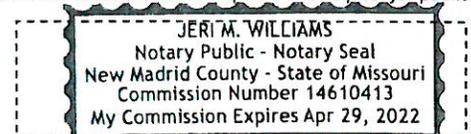
Owner's Signature

Major Rush

Notary Public in and for the State of Texas

J. M. Williams

City of Missouri



My Commission Expires 04.29.2022



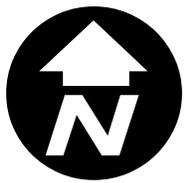
Z2020-034- SUP FOR 118 MISCHIEF LANE  
ZONING - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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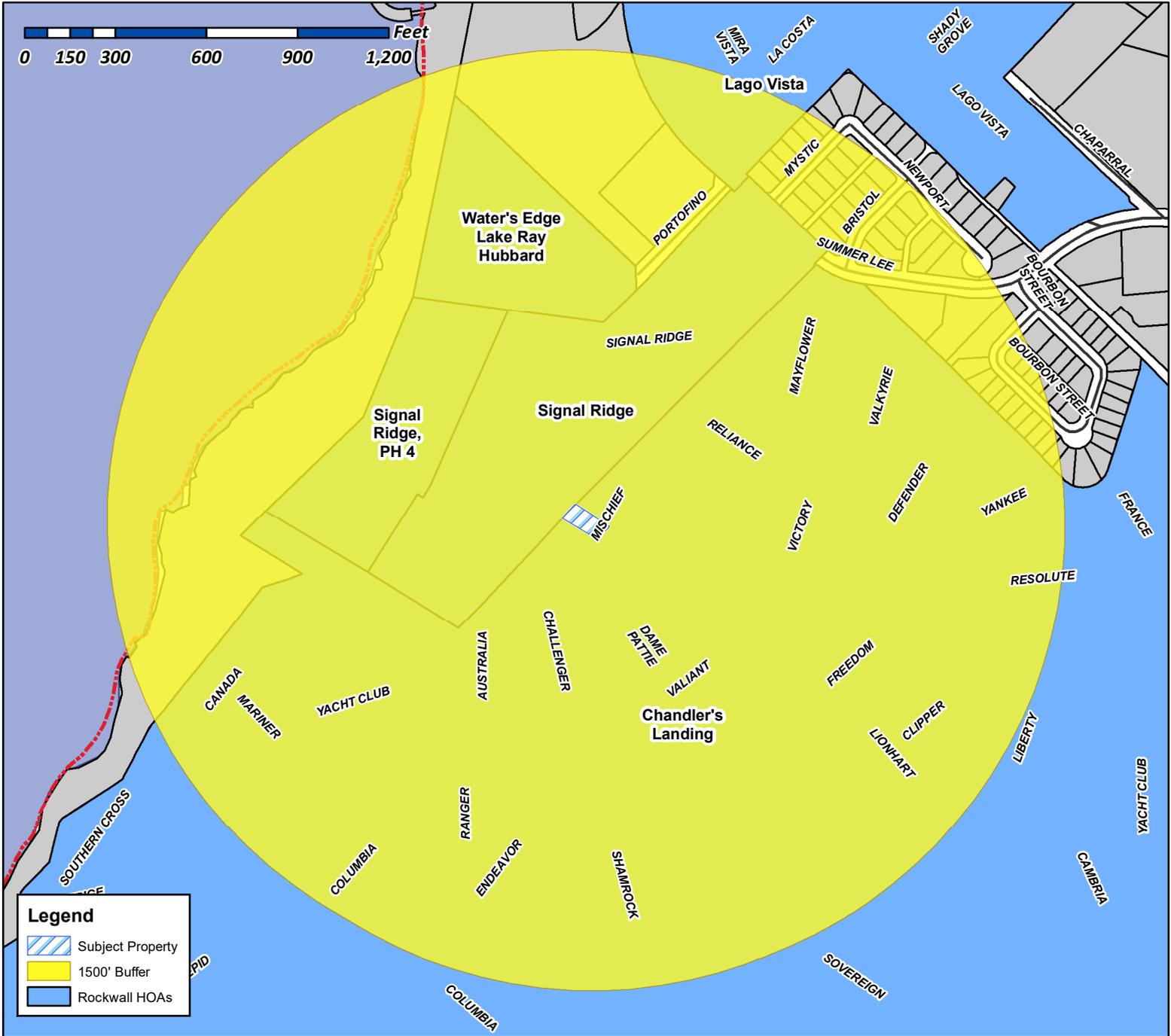




# City of Rockwall

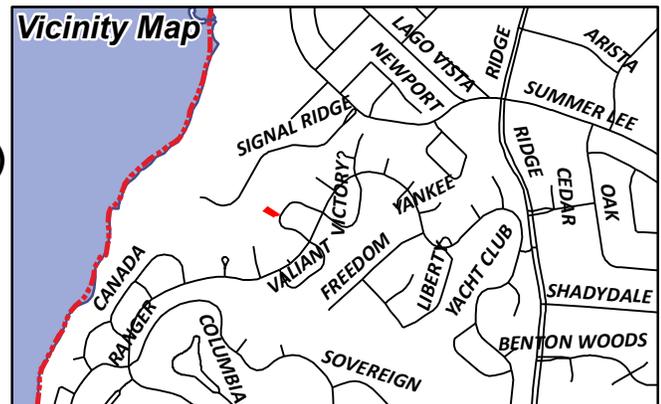
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**Case Number:** Z2020-034  
**Case Name:** SUP for 118 Mischief Lane  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 118 Mischief Lane

**Date Created:** 8/14/2020  
**For Questions on this Case Call** (972) 771-7745



**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program  
**Date:** Tuesday, August 18, 2020 4:59:52 PM  
**Attachments:** [HOA Map \(08.14.2020\).pdf](#)  
[Public Notice \(08.18.2020\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 21, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 15, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 21, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-034 SUP for Residential Infill at 118 Mischief Lane

Hold a public hearing to discuss and consider a request by Major Rush for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

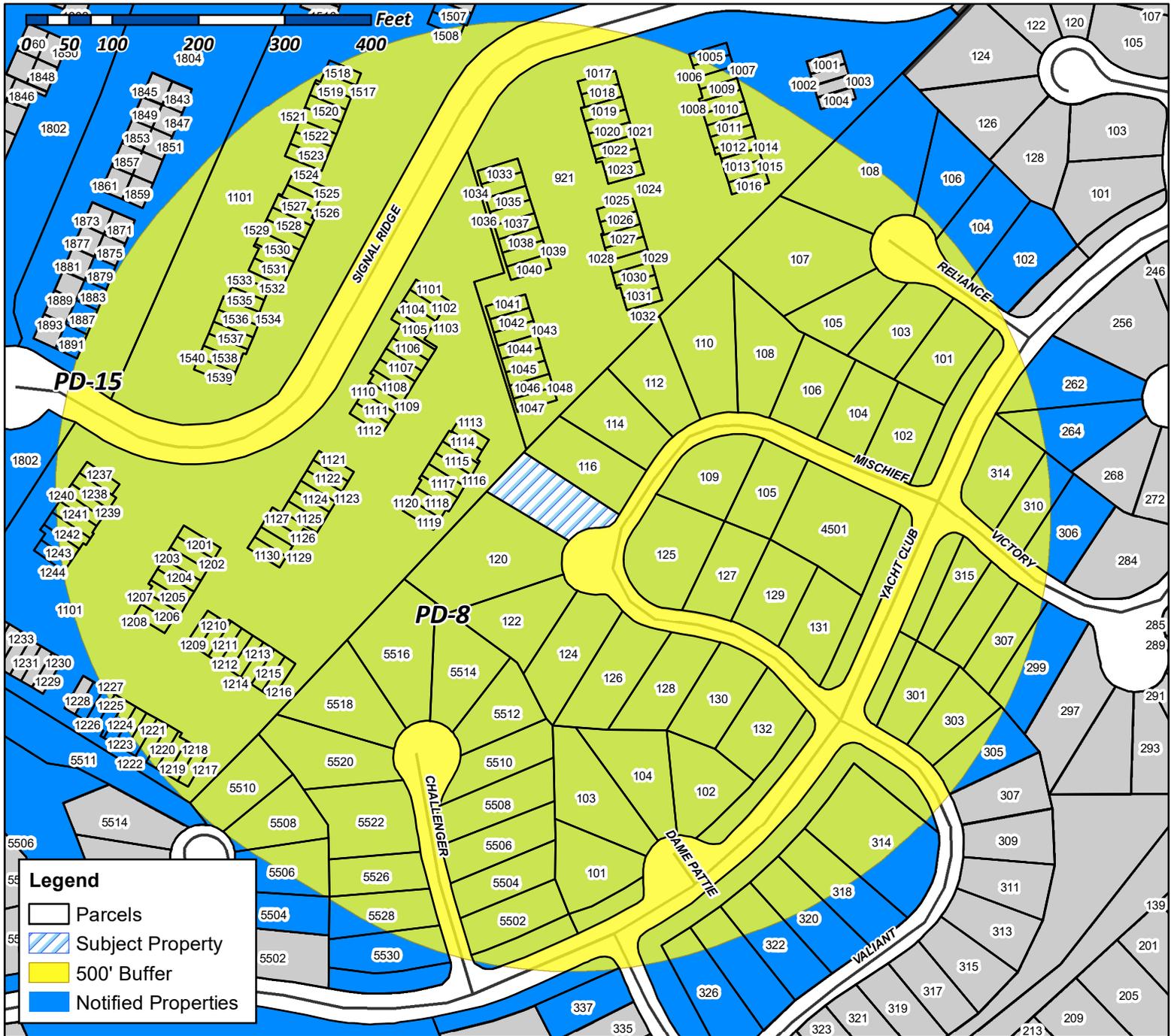
<http://www.rockwall.com/planning/>



# City of Rockwall

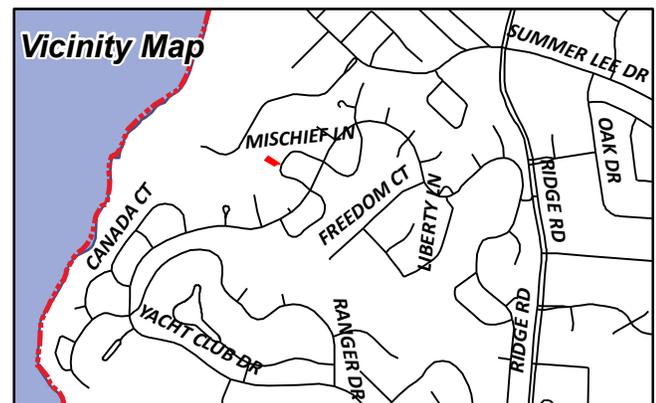
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**Case Number:** Z2020-034  
**Case Name:** SUP for 118 Mischief Lane  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 118 Mischief Lane

**Date Created:** 8/14/2020  
**For Questions on this Case Call** (972) 771-7745



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1005 SIGNAL RIDGE  
ROCKWALL, TX 75032

SEPEHRI SUSAN M  
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BROYLES STEPHANIE  
1007 SIGNAL RIDGE PL  
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MIEROW SHARON A  
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HIGGINS MICHAEL R AND ANN S  
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SPURLOCK BRENDA CAROL  
10297 CR 540  
LAVON, TX 75166

THOMAS VELIA  
103 DAME PATTIE  
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MESQUITE, TX 75149

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ROCKWALL, TX 75032

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CUSTODIAN FBO WILLIAM COMPTON  
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#TC005612  
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ROCKWALL, TX 75032

PERROTTA SHARON  
1032 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNSTON SHARRON  
1033 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

FALLS DAVID & TERRI  
1035 SIGNAL RIDGE  
ROCKWALL, TX 75032

BOYD KENNETH  
1036 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
1037 SIGNAL RIDGE  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
1038 SIGNAL RIDGE  
ROCKWALL, TX 75032

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ATTN:TOM LORENZ  
1039 SIGNAL RIDGE  
ROCKWALL, TX 75032

FAYAD HUSSIAN AND  
ALISSA JENKINS  
104 DAME PATTIE DRIVE  
ROCKWALL, TX 75032

HAYES BRANDON E  
104 MISCHIEF  
ROCKWALL, TX 75032

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104 RELIANCE  
ROCKWALL, TX 75032

ARMSTRONG D  
1040 SIGNAL RIDGE  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
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ROCKWALL, TX 75032

ARMSTRONG D  
1042 SIGNAL RIDGE  
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NICHOLS JANET  
1043 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

TRINGALI CAHTERINE  
1044 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

YANGER LISA  
1046 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
1047 SIGNAL RIDGE  
ROCKWALL, TX 75032

ZAJDL SALLY A  
1048 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES  
105 MISCHIEF LN  
ROCKWALL, TX 75032

HAYES BRANDON  
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ROCKWALL, TX 75032

GRAF DANIEL & JESSICA  
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ROCKWALL, TX 75032

DOWLING STEVEN & BRENDA  
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ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-  
GILBREATH  
107 RELIANCE CT  
ROCKWALL, TX 75032

CARRILLO VICTOR G  
108 MISCHIEF LN  
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY  
108 RELIANCE CT  
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE  
109 MISCHIEF LN  
ROCKWALL, TX 75032

DILOV VANIO  
110 MISCHIEF  
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G  
1101 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
1102 SIGNAL RIDGE  
ROCKWALL, TX 75032

HARRIS SUSAN  
1103 SIGNAL RIDGE  
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO  
1104 SIGNAL RIDGE #1104  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
1105 51ST ST W  
BRADENTON, FL 34209

DAVID L GARDNER REVOCABLE LIVING TRUST  
1105 51ST ST W  
BRADENTON, FL 34209

DAVIS ROBERT NEAL  
1105 MELISSA LN  
GARLAND, TX 75040

LARAPINTA LLC  
1105 SIGNAL RIDGE  
ROCKWALL, TX 75032

OGLIN THOMAS J & JOYCE L  
1106 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC  
1108 SIGNAL RIDGE  
ROCKWALL, TX 75032

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1109 SIGNAL RIDGE  
ROCKWALL, TX 75032

BURKETT REBECCA SHANNON  
MARY R BURKETT CUSTODIAN  
1111 SIGNAL RIDGE  
ROCKWALL, TX 75032

TWOMEY ELIZABETH A  
1112 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
1113 SIGNAL RIDGE  
ROCKWALL, TX 75032

HOGAN JERRY  
1114 SIGNAL RIDGE  
ROCKWALL, TX 75032

MATHERNE JUDITH L  
1115 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

GUZZI CHARLES F & MURIEL Y  
1116 SIGNAL RIDGE  
ROCKWALL, TX 75032

LEVENTHAL PATRICK J  
1118 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

METZGER JACQUELINE  
1119 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K  
112 MISCHIEF LANE  
ROCKWALL, TX 75032

LAMAN FRANCES ANN  
1120 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E  
MARY R BURKETT CUSTODIAN  
1121 SIGNAL RIDGE  
ROCKWALL, TX 75032

MAYHALL MORGAN  
1122 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

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1123 SIGNAL RIDGE  
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114 MISCHIEF LANE  
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116 MISCHIEF LN  
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ROBERTSON GERALDINE C &  
LANCE STANFORD ROBERTSON  
1170 WATERSIDE CIR  
ROCKWALL, TX 75087

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120 MISCHIEF LN  
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON  
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ROCKWALL, TX 75032

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1202 SIGNAL RIDGE  
ROCKWALL, TX 75032

CLARKE BEVERLY ANN  
1203 SIGNAL RIDGE PL #3  
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST  
1204 SIGNAL RIDGE  
ROCKWALL, TX 75032

SELZER DEANNA  
1205 SIGNAL RIDGE  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
ATTN:TOM LORENZ  
1206 SIGNAL RIDGE  
ROCKWALL, TX 75032

BURKETT MARY REBECCA  
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ROCKWALL, TX 75032

ADAMS LINDA RUTH  
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ROCKWALL, TX 75032

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1210 SIGNAL RIDGE  
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LANE DEBRA  
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ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST  
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DALE ROBERT WAYNE  
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ROCKWALL, TX 75032

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CUSTODIAN F/BENJAMIN HERRINGTON E  
BURKETT  
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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MARY R BURKETT CUSTODIAN  
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ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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124 MISCHIEF LANE  
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NGUYEN KIM LOAN  
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COCANOUGH T TODD M  
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ROCKWALL, TX 75032

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1345 RIDGE RD #310  
ROCKWALL, TX 75087

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14 NORMAN TRL  
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FATE, TX 75087

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148 OXFORD  
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15 KESTREL COURT  
ROCKWALL, TX 75032

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1501 S LAKESHORE DR  
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THOMAS BARBARA E  
1507 SIGNAL RIDGE PL  
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PATTERSON WILLIAM L JR AND DWAYLA L  
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FBO CUSTODIANS SHERYL LYNNE COMPTON  
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MOLLIE PRICE TRUSTEE  
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ROCKWALL, TX 75032

RICKERSON CHARLES AND VIRGINIA  
1540 SIGNAL RIDGE  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
159 W 118TH ST APT PH-H  
NEW YORK CITY, NY 10026

MILLER LYNETTE LIFE ESTATE  
ALISON LYN FOX  
1601 BAYCREST TRAIL  
HEATH, TX 75032

NAUMANN KURT  
168 STONELEIGH DR  
HEATH, TX 75032

DWA EQUITIES LLC  
1802 SIGNAL RIDGE  
ROCKWALL, TX 75032

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1804 SIGNAL RIDGE PL

GUZZI CHARLES F & MURIEL Y  
18635 TULSA ST  
NORTHRIDGE, CA 91326

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BREZ RAYMOND C & M LYNNE TRUSTEES  
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GIFFORD JIM L & PAMELA  
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ROCKWALL, TX 75087

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LARAPINTA LLC  
2028 E. BEN WHITE BLVD # 240-5820  
AUSTIN, TX 75741

RICKERSON CHARLES AND VIRGINIA  
206 LAKEHILL DRIVE  
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA  
206 LAKEHILL DRIVE  
ROCKWALL, TX 75087

HOGAN JERRY  
2109 TWILIGHT PT  
HEATH, TX 75032

MOORE GREGORY J  
2140 PORTOFINO DR  
ROCKWALL, TX 75032

BALDWIN GLENN RAY  
216 STANFORD CT  
HEATH, TX 75032

1879 ROCKETEER HOLDINGS LLC  
2200 ROSS AVE 3600  
DALLAS, TX 75201

ODOM LACEY AND JOSH  
2402 YACHT CLUB DR  
ROCKWALL, TX 75032

THOMAS VELIA  
2612 GULL LAKE DRIVE  
PLANO, TX 75025

HANSEN J D & PATRICIA  
262 VICTORY LN  
ROCKWALL, TX 75032

CSH 2016-2 BORROWER LLC  
264 VICTORY  
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DILOV VANIO  
2717 LAKEWOOD DR  
ROWLETT, TX 75088

BURKETT BENJAMIN HERRINGTON E  
MARY R BURKETT CUSTODIAN  
277 TERRY LANE  
HEATH, TX 75032

SEEDS DAVID R  
2961 S CHERRY WAY  
DENVER, CO 80222

BEVILL HELEN M AND  
CHANDRA KARLEN  
2977 OAK DR  
ROCKWALL, TX 75032

LIBERTY TRUST COMPANY LTD  
CUSTODIAN FBO WILLIAM COMPTON  
2984 HUNTERGLEN ROAD  
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PERRY GEORGE DAVID & SANDRA SUE  
299 VICTORY LN  
ROCKWALL, TX 75032

HAIL CHRIS & MELODY  
3 WILTSHIRE COURT  
HEATH, TX 75032

MCMURTRE DREW  
3000 TWIN LAKES DR  
PROSPER, TX 75078

ALLEN ANN  
301 VALIANT  
ROCKWALL, TX 75032

WARD ANDREA N  
303 VALIANT DRIVE  
ROCKWALL, TX 75032

DEAL ROBERT  
305 VALIANT DRIVE  
ROCKWALL, TX 75032

MCMINN KIMBERLY  
306 VICTORY  
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC  
30601 AGOURA RD SUITE 200  
AGOURA HILLS, CA 91301

MCNAIR KELLY  
307 VICTORY LN  
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC  
310 VICTORY  
ROCKWALL, TX 75032

HAMMAN CHRISTOPHER & ANNE MARIE  
MARTIN  
314 VALIANT DRIVE  
ROCKWALL, TX 75032

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315 VICTORY LN  
ROCKWALL, TX 75032

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SRP SUB LLC  
320 VALIANT  
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ROCKWALL, TX 75032

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326 VALIANT  
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
331 MOCKINGBIRD LN  
AUBURN, AL 36830

HARMON H VICTOR  
337 VALIANT  
ROCKWALL, TX 75032

N & S PROPERTIES LLC  
3402 ANTHONY CIR  
ROWLETT, TX 75088

BUNYASAI PARIYADA  
3416 CAMPUS AVE  
CLAREMONT, CA 91711

FALLS DAVID & TERRI  
3608 LAKESIDE DR  
ROCKWALL, TX 75087

TULK SHARON KAYE  
408 COLUMBIA DR  
ROCKWALL, TX 75032

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411 DRIFTWOOD ST  
ROCKWALL, TX 75087

YANGER MORRIS & DORIS  
427 COLUMBIA DR  
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GINA L STRICKLIN  
4501 YACHT CLUB DR  
ROCKWALL, TX 75032

KUMAR ANVITA  
4701 COPPER MOUNTAIN LANE  
RICHARDSON, TX 75082

SELZER DEANNA  
510 TURTLE COVE BLVD STE 109  
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HARMON H VICTOR  
519 E INTERSTATE 30 PMB 212  
ROCKWALL, TX 75087

MARSHALL SAMUEL AND DIANA  
5502 CHALLENGER CT  
ROCKWALL, TX 75032

LINLEY ZACHARY AND ELIZABETH HOLLAND-  
5504 AUSTRALIA COURT  
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA  
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WILSON STEPHEN L & JANPRAPHA T  
5506 AUSTRALIA CT  
ROCKWALL, TX 75032

KJT FLYING PROPERTIES LLC  
5506 CHALLENGER  
ROCKWALL, TX 75032

YOUNG SHERRY WHITE  
5508 AUSTRALIA CT  
ROCKWALL, TX 75032

NORTON ANGELA  
5508 CHALLENGER CT  
ROCKWALL, TX 75032

HOWERTON JASON BRUCE & BRITTANY JEAN  
WILSON  
5510 AUSTRALIA COURT  
ROCKWALL, TX 75032

EVERSWICK LIVING TRUST  
DAVID N AND JOYCE EVERSWICK TRUSTEES  
5510 CHALLENGER  
ROCKWALL, TX 75032

TAYLOR JOE & CINDY  
5511 AUSTRALIA CT  
ROCKWALL, TX 75032

BEST JAMES AND DEBRA  
5512 CHALLENGER CT  
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN  
5514 CHALLENGER CT  
ROCKWALL, TX 75032

CABANISS CHAR CHERICE  
DAVID R DE LA CERDA  
5516 CHALLENGER CT  
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR  
JOHN C & ARLENE C FREDERIKSEN TRUSTEES  
5518 CHALLENGER CT  
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR  
JOHN C & ARLENE C FREDERIKSEN TRUSTEES  
5520 CHALLENGER  
ROCKWALL, TX 75032

HENRY MARY DELINA & DOUGLAS GARFIELD  
5522 CHALLENGER COURT  
ROCKWALL, TX 75032

CONFIDENTIAL  
5526 CHALLENGER COURT  
ROCKWALL, TX 75032

SHELTON ROBERT M  
5528 CHALLENGER CT  
ROCKWALL, TX 75032

WATKINS JAMES & ELLEN  
5530 CHALLENGER CT  
ROCKWALL, TX 75032

EVERSWICK LIVING TRUST  
DAVID N AND JOYCE EVERSWICK TRUSTEES  
56 JOYCE DR  
SUCCASUNNA, NJ 7876

ALLEN ANN  
5612 CAMBRIA DR  
ROCKWALL, TX 75032

ALVARADO KRESHA  
5905 VOLUNTEER PL  
ROCKWALL, TX 75032

DWYER AMY SUZANNE  
6101 VOLUNTEER PL  
ROCKWALL, TX 75032

OARD EUGENE E  
6104 BLACK SWAN CIR  
GARLAND, TX 75044

HARRIS SUSAN  
724 WINDSONG LN  
ROCKWALL, TX 75032

COPE JEANETTE M  
7685 STATE HIGHWAY 53 N  
UPPER SANDUSKY, OH 43351

PATTERSON WILLIAM L JR AND DWAYLA L  
REVOCABLE LIVING TRUST  
782 HANOVER DR  
ROCKWALL, TX 75087

ARMSTRONG JOHN D III AND INDIVIDUAL  
804 EAGLE PASS  
HEATH, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH  
828 CR 1035  
COOPER, TX 75432

CSH 2016-2 BORROWER LLC  
8665 EAST HARTFORD DR SUITE 200  
SCOTTSDALE, AZ 85255

SRP SUB LLC  
8665 EAST HARTFORD DRIVE SUITE 200  
SCOTTSDALE, AZ 85255

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
921 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST  
MOLLIE L PRICE TRUSTEE  
C/O CHARLES LINEVILLE P O BOX 743612  
DALLAS, TX 75374

AMHILL FINANCIAL LP  
P. O. BOX 1179  
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC  
P. O. BOX 853  
WYLIE, TX 75098

MCMINN KIMBERLY  
PMB 239 11654 PLAZA AMERICA DR  
RESTON, VA 20190

RICHMOND JANET M & TOM R  
PO BOX 1145  
ROCKWALL, TX 75087

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
PO BOX 1179  
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

SRYGLEY JAMES  
PO BOX 1928  
ROCKWALL, TX 75087

JDM RENTALS I LLC  
PO BOX 2110  
ROCKWALL, TX 75087

MARICH ENTERPRISE CORPORATION  
PO BOX 2319  
ROCKWALL, TX 75087

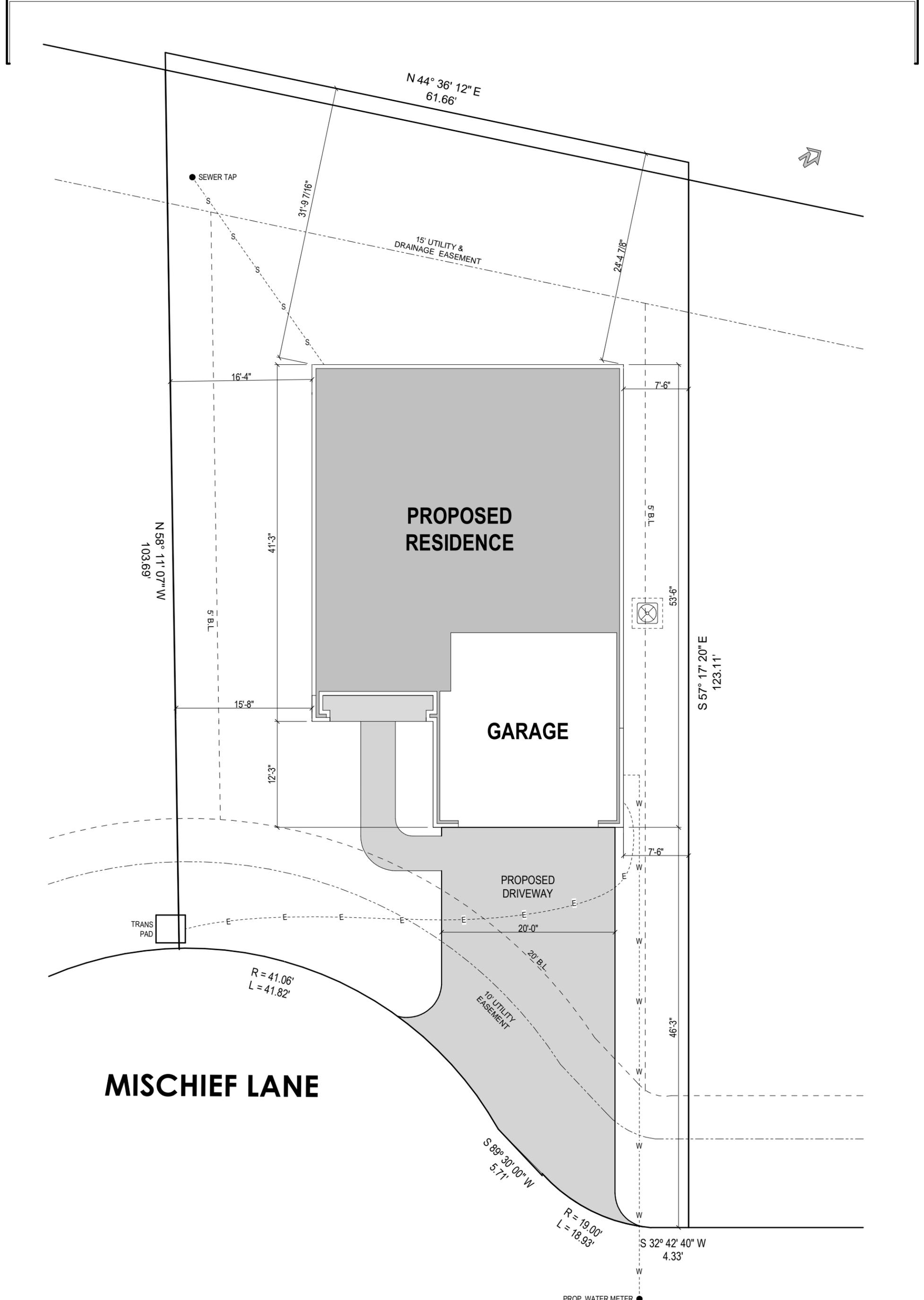
CHANDLERS LANDING COMMUNITY ASSOC  
PO BOX 638  
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
PO BOX 743612  
DALLAS, TX 75374

RUSH MAJOR  
PO BOX 760794  
GARLAND, TX 75046

HIGGINS MICHAEL R AND ANN S  
PO BOX 850225  
MESQUITE, TX 75185

ROCKWALL, TX 75032



LOT 12, BLOCK A, CHANDLER'S LANDING PHASE 20  
118 MISCHIEF LANE, ROCKWALL, TX, 75032

1 **SITE PLAN**  
1" = 10'-0"

**A-SITE** MR. MAJOR RUSH  
Job #1194397  
Rockwall County

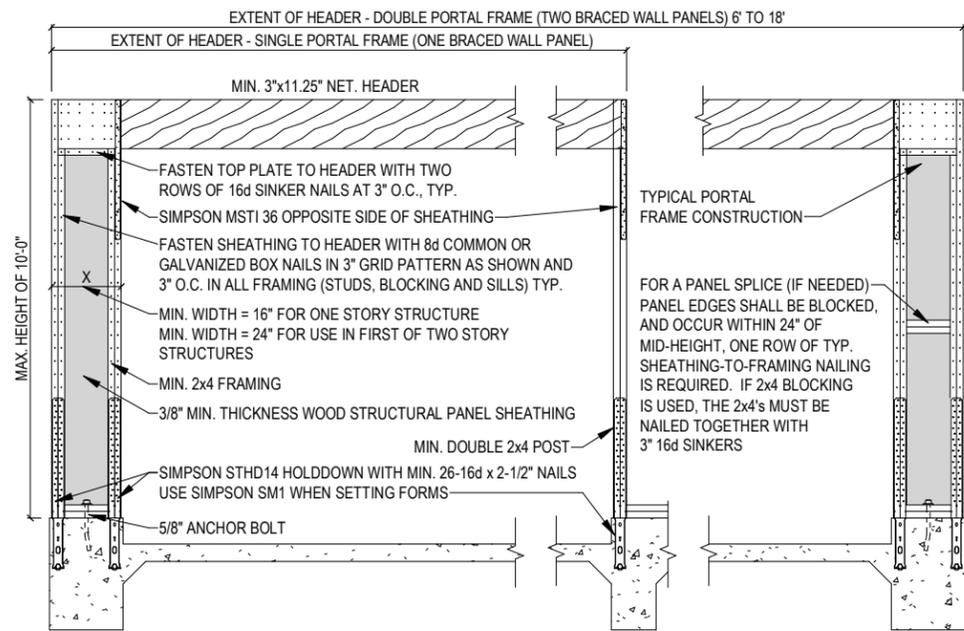


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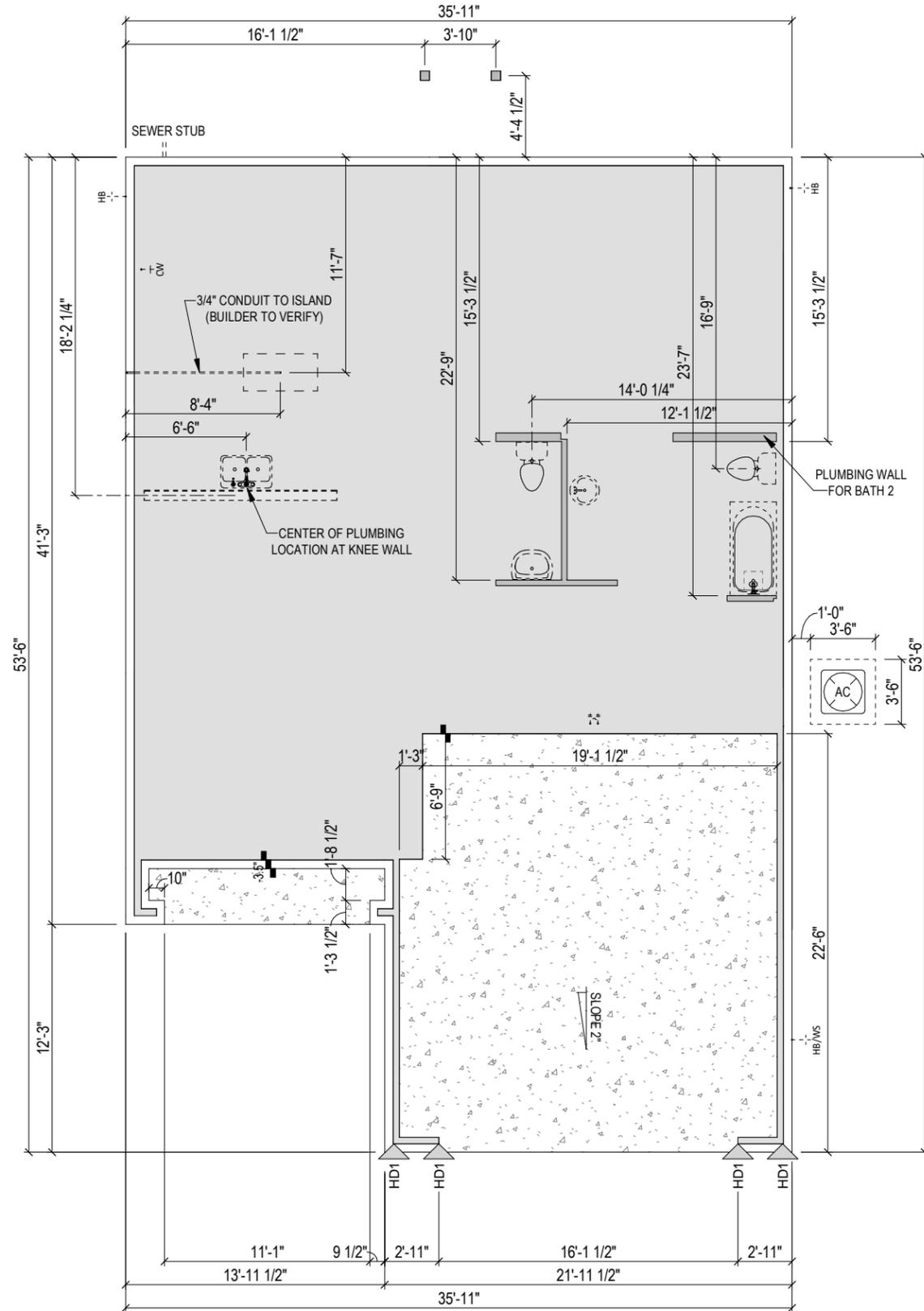
FC- 9/10/2019 - MD  
RD- 03/17/2019 - SL  
PERMIT- 05/12/2020 - SL  
CHKOUT- 04/27/2020 - ZO

**FINAL PLANS**  
4031  
GOLIAD A

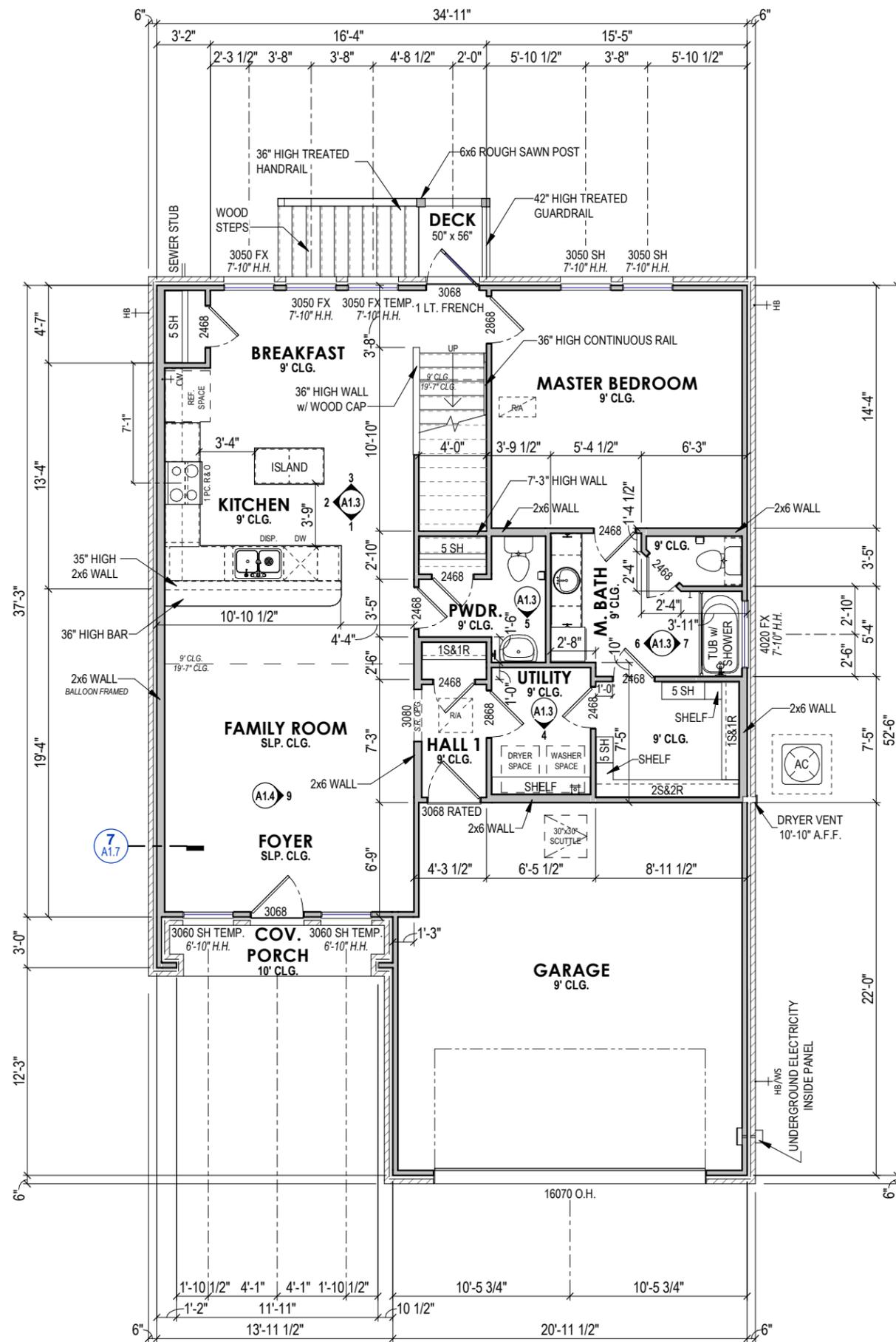
Tilson Home Corporation 2019 ©



**2 PORTAL FRAMING WITH HOLDDOWNS FOR GARAGE DOOR OPENINGS**  
1/8" = 1'-0"



**1 SLAB PLAN**  
1/8" = 1'-0"



- FLOOR PLAN NOTES**
- BATH ACCESSORIES:**  
(HEIGHT TO BE BLOCKED & MOUNTED)
- TOWEL BARS - 54" A.F.F.
  - TOILET PAPER HOLDER - 28" A.F.F.
  - ROBE HOOK - 72" A.F.F.
  - TOWEL RING - 60" A.F.F.
  - SHOWER ROD - 58" ABV. TUB DECK
- PLUMBING:**
- RANGE GAS SHUT-OFF VALVE (IF APPLICABLE) TO BE LOCATED IN ADJACENT CABINET
- HVAC:**
- FRESH AIR INTAKE SHALL BE VENTED THROUGH SOFFIT OR GABLE WALL
- WATER HEATER:**
- IF LOCATED IN ATTIC: PROVIDE PAN AND DRAIN
  - IF GAS & LOCATED IN CLOSET: WEATHERSTRIP DOOR, PROVIDE OUTSIDE COMBUSTIBLE AIR, & INSULATE WALLS
- GARAGE (IF APPLICABLE):**
- SEE SPECS FOR FINISH

**FINAL PLANS**  
4031  
GOLIAD A

EC- 9/10/2019 - MD  
RD- 03/17/2019 - SL  
PERMIT- 05/12/2020 - SL  
CHKOUT- 04/27/2020 - ZO

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**TILSON**  
CUSTOM HOME BUILDERS

Tilson Home Corporation 2019 ©

**MR. MAJOR RUSH**  
Job #1194397  
Rockwall County

**A1.1**

**1 1ST FLOOR PLAN**  
1/8" = 1'-0"

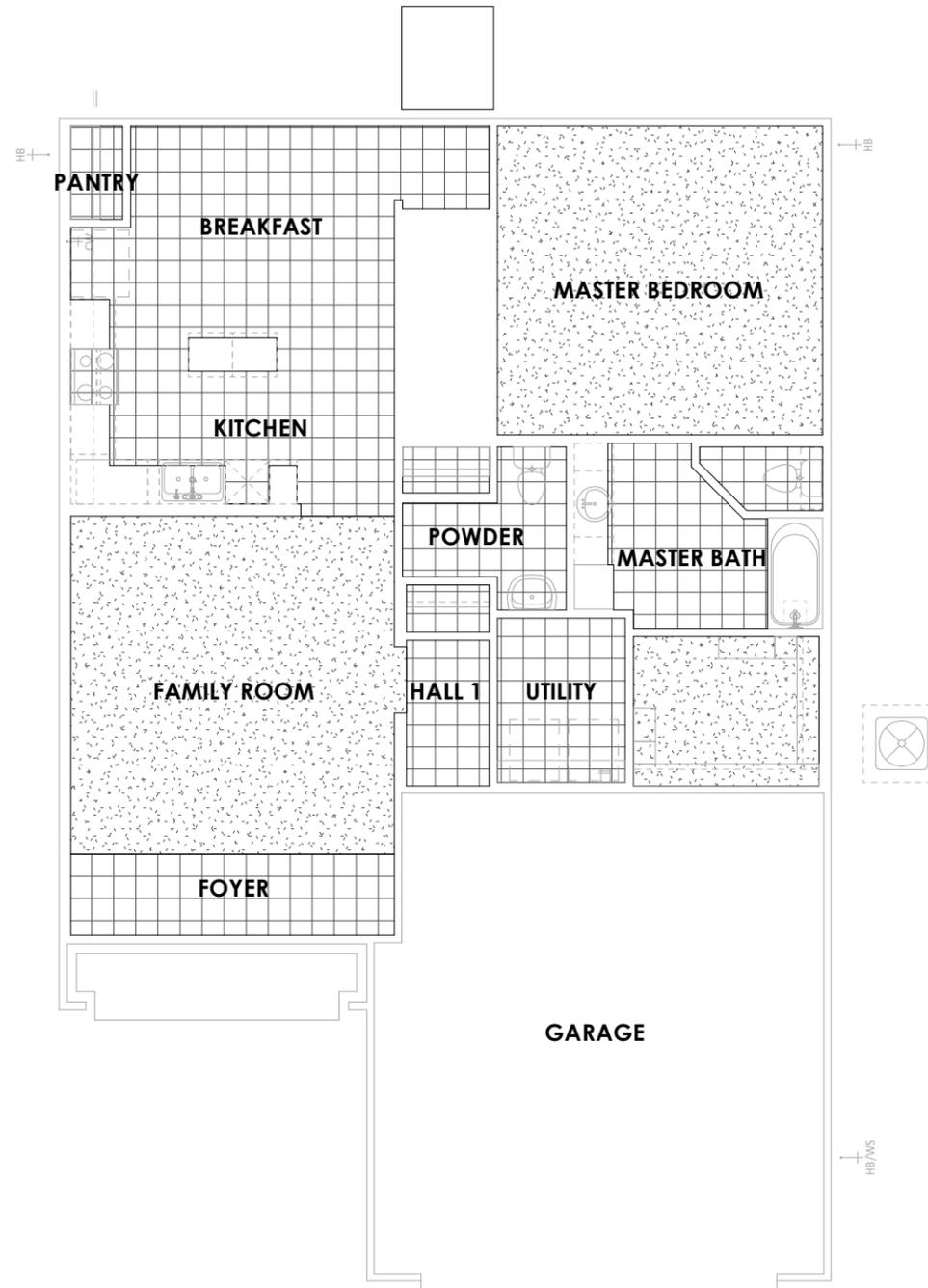
### ROOM FINISH SCHEDULE

Name	Ceiling Height	Crown Mould Type	Chair Rail
<b>1ST FLOOR</b>			
BREAKFAST	9'	(none)	
FAMILY ROOM	SLP.	(none)	
FOYER	SLP.	(none)	
GARAGE	9'	(none)	
HALL 1	9'	(none)	
HALL 1 CLOSET	9'	(none)	
KITCHEN	9'	(none)	
MASTER BATH	9'	(none)	
MASTER BATH WATER CLOSET	9'	(none)	
MASTER BEDROOM	9'	(none)	
MASTER BEDROOM CLOSET	9'	(none)	
PANTRY	9'	(none)	
POWDER	9'	(none)	
POWDER	9'	(none)	
STAIRS		(none)	
UTILITY	9'	(none)	
<b>2ND FLOOR</b>			
BATH 2	9'	(none)	
BEDROOM 2	9'	(none)	
BEDROOM 2 CLOSET	9'	(none)	
BEDROOM 3	9'	(none)	
BEDROOM 3 CLOSET	9'	(none)	
LOFT	9'	(none)	

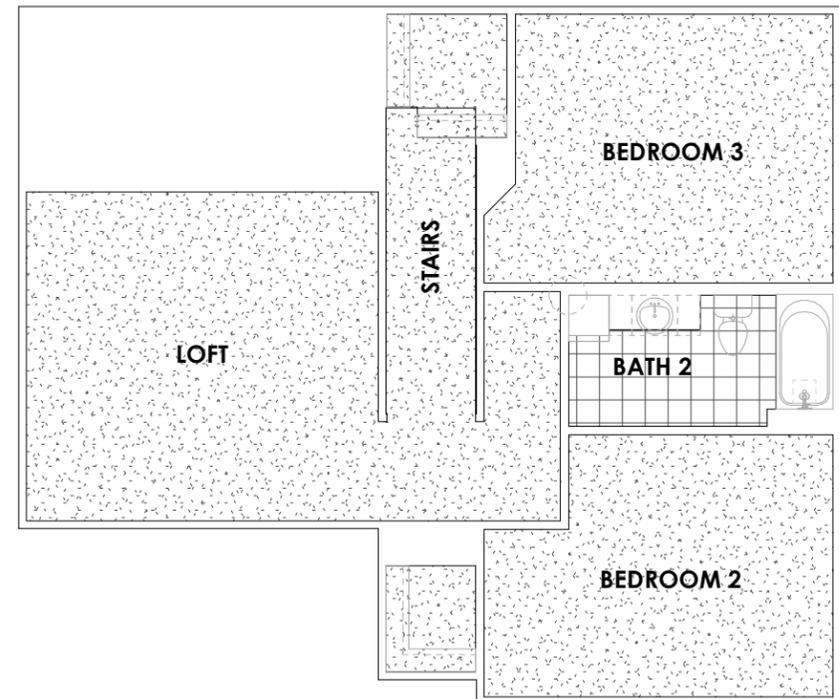
### FLOORING SCHEDULE

Room	Type Comments	Area
<b>Flooring - Carpet &amp; Pad</b>		
Bedroom 2	CARPET	159 SF
Bedroom 2 Closet	CARPET	18 SF
Bedroom 3	CARPET	167 SF
Bedroom 3 Closet	CARPET	26 SF
Family Room	CARPET	226 SF
Loft	CARPET	275 SF
Master Bedroom	CARPET	206 SF
Master Bedroom Closet	CARPET	57 SF
Stairs	CARPET	52 SF
Stairs	CARPET	52 SF
		1239 SF
<b>Flooring - Ceramic Tile</b>		
Bath 2	CERAMIC TILE	42 SF
Breakfast	CERAMIC TILE	118 SF
Foyer	CERAMIC TILE	54 SF
Hall 1	CERAMIC TILE	25 SF
Hall 1 Closet	CERAMIC TILE	8 SF
Kitchen	CERAMIC TILE	109 SF
Master Bath	CERAMIC TILE	50 SF
Master Bath Water Closet	CERAMIC TILE	14 SF
Pantry	CERAMIC TILE	10 SF
Powder	CERAMIC TILE	8 SF
Powder	CERAMIC TILE	37 SF
Utility	CERAMIC TILE	43 SF
		518 SF

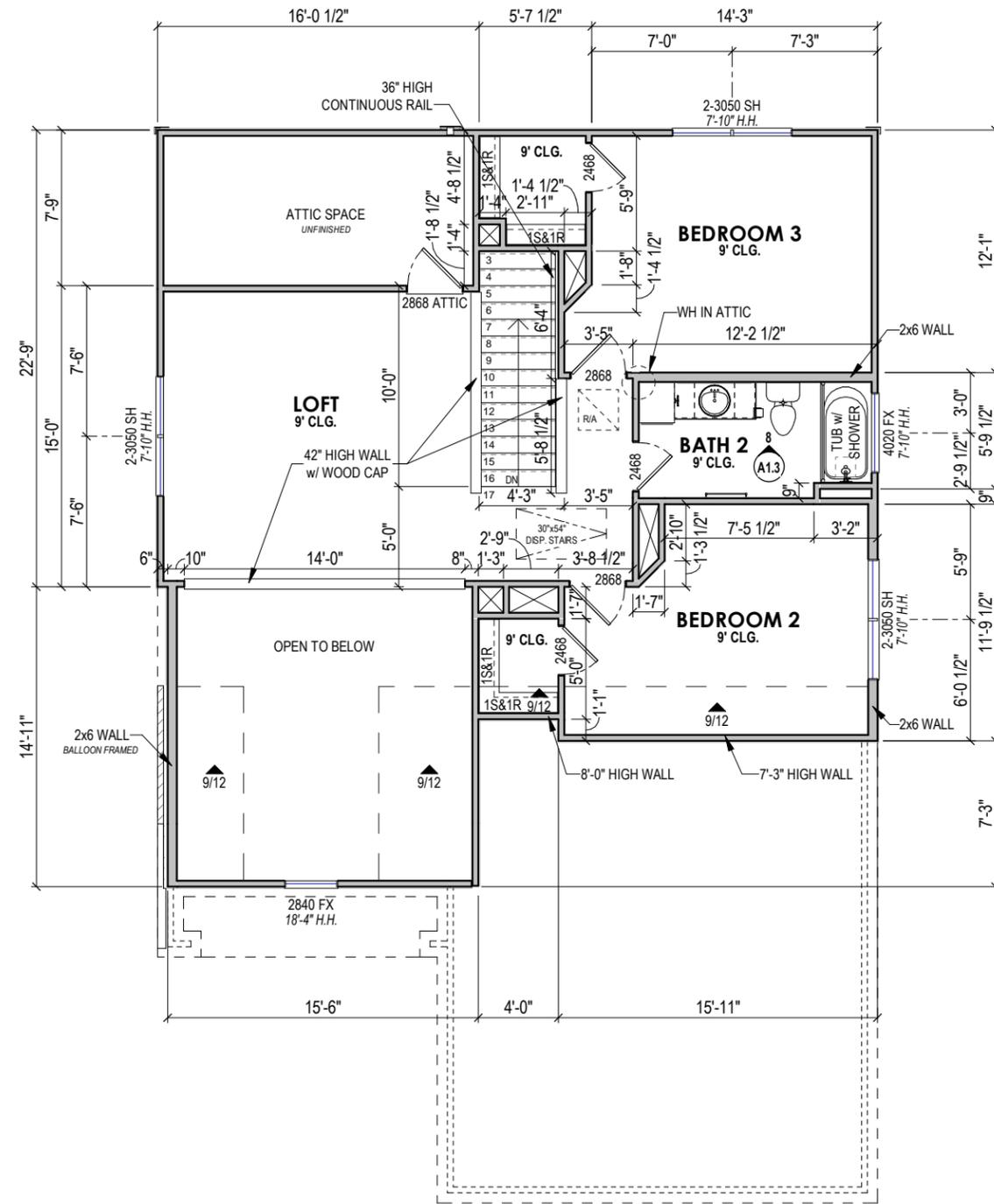
**NOTE: FLOORING LAYOUT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. SEE OPTIONS ADDENDUM FOR JOB SPECIFIC LAYOUT.**



**1 1ST FLOOR ROOM FINISH PLAN**  
1/8" = 1'-0"



**2 2ND FLOOR ROOM FINISH PLAN**  
1/8" = 1'-0"



- FLOOR PLAN NOTES**
- BATH ACCESSORIES:**  
(HEIGHT TO BE BLOCKED & MOUNTED)
- TOWEL BARS - 54" A.F.F.
  - TOILET PAPER HOLDER - 28" A.F.F.
  - ROBE HOOK - 72" A.F.F.
  - TOWEL RING - 60" A.F.F.
  - SHOWER ROD - 58" ABV. TUB DECK
- PLUMBING:**
- RANGE GAS SHUT-OFF VALVE (IF APPLICABLE) TO BE LOCATED IN ADJACENT CABINET
- HVAC:**
- FRESH AIR INTAKE SHALL BE VENTED THROUGH SOFFIT OR GABLE WALL
- WATER HEATER:**
- IF LOCATED IN ATTIC: PROVIDE PAN AND DRAIN
  - IF GAS & LOCATED IN CLOSET: WEATHERSTRIP DOOR, PROVIDE OUTSIDE COMBUSTIBLE AIR, & INSULATE WALLS
- GARAGE (IF APPLICABLE):**
- SEE SPECS FOR FINISH

**FINAL PLANS**  
4031  
GOLIAD A

EC- 9/10/2019 - MD  
RD- 03/17/2019 - SL  
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CHKOUT- 04/27/2020 - ZO

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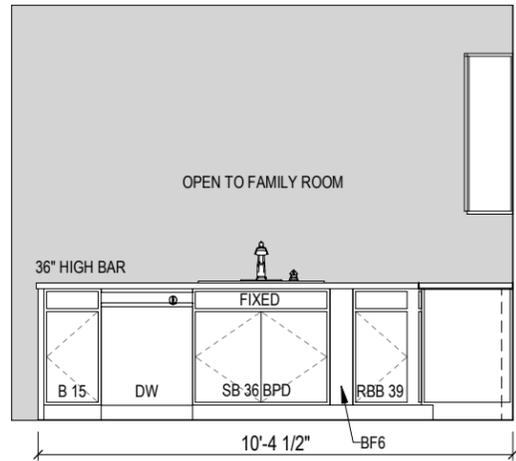
**TILSON**  
CUSTOM HOME BUILDERS

Tilson Home Corporation, 2019 ©

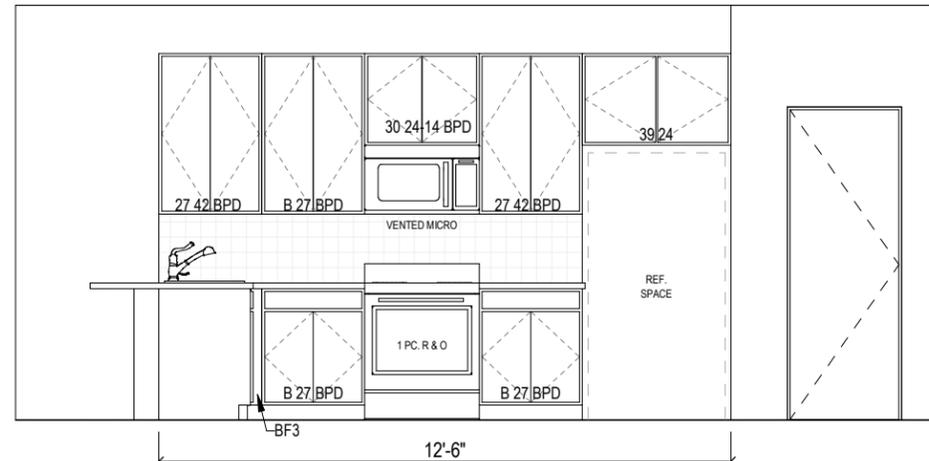
MR. MAJOR RUSH  
Job #1194397  
Rockwall County

A1.2

**1 2ND FLOOR PLAN**  
1/8" = 1'-0"



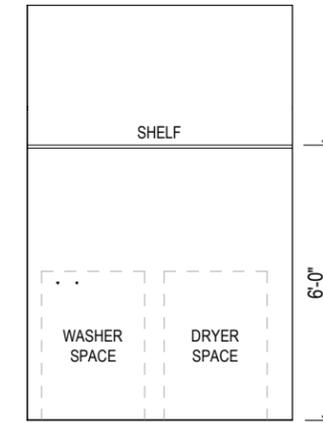
**1 KITCHEN - SINK WALL**  
1/4" = 1'-0"



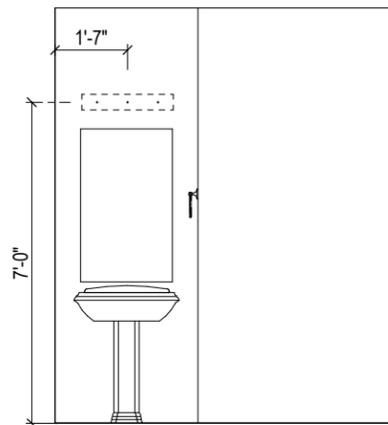
**2 KITCHEN - RANGE WALL**  
1/4" = 1'-0"



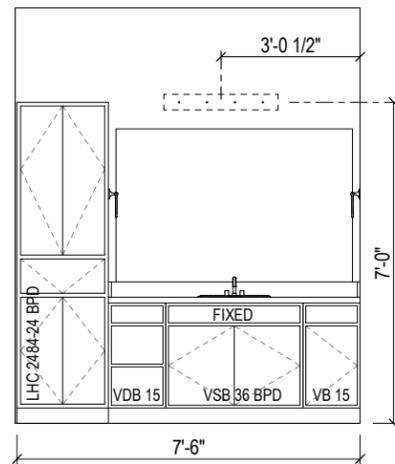
**3 KITCHEN ISLAND**  
1/4" = 1'-0"



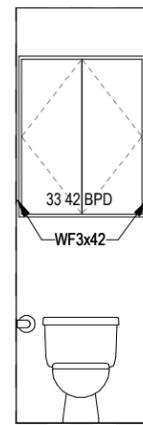
**4 UTILITY**  
1/4" = 1'-0"



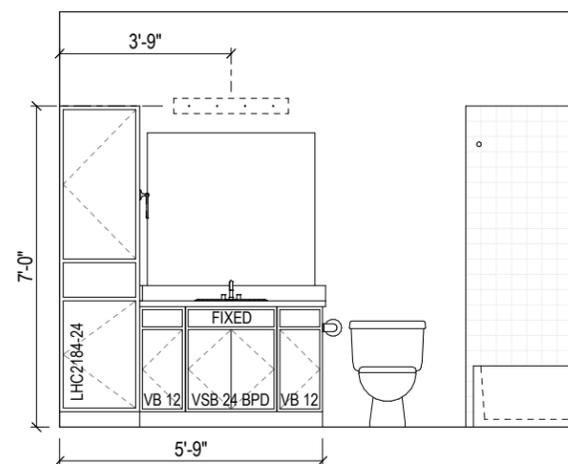
**5 POWDER**  
1/4" = 1'-0"



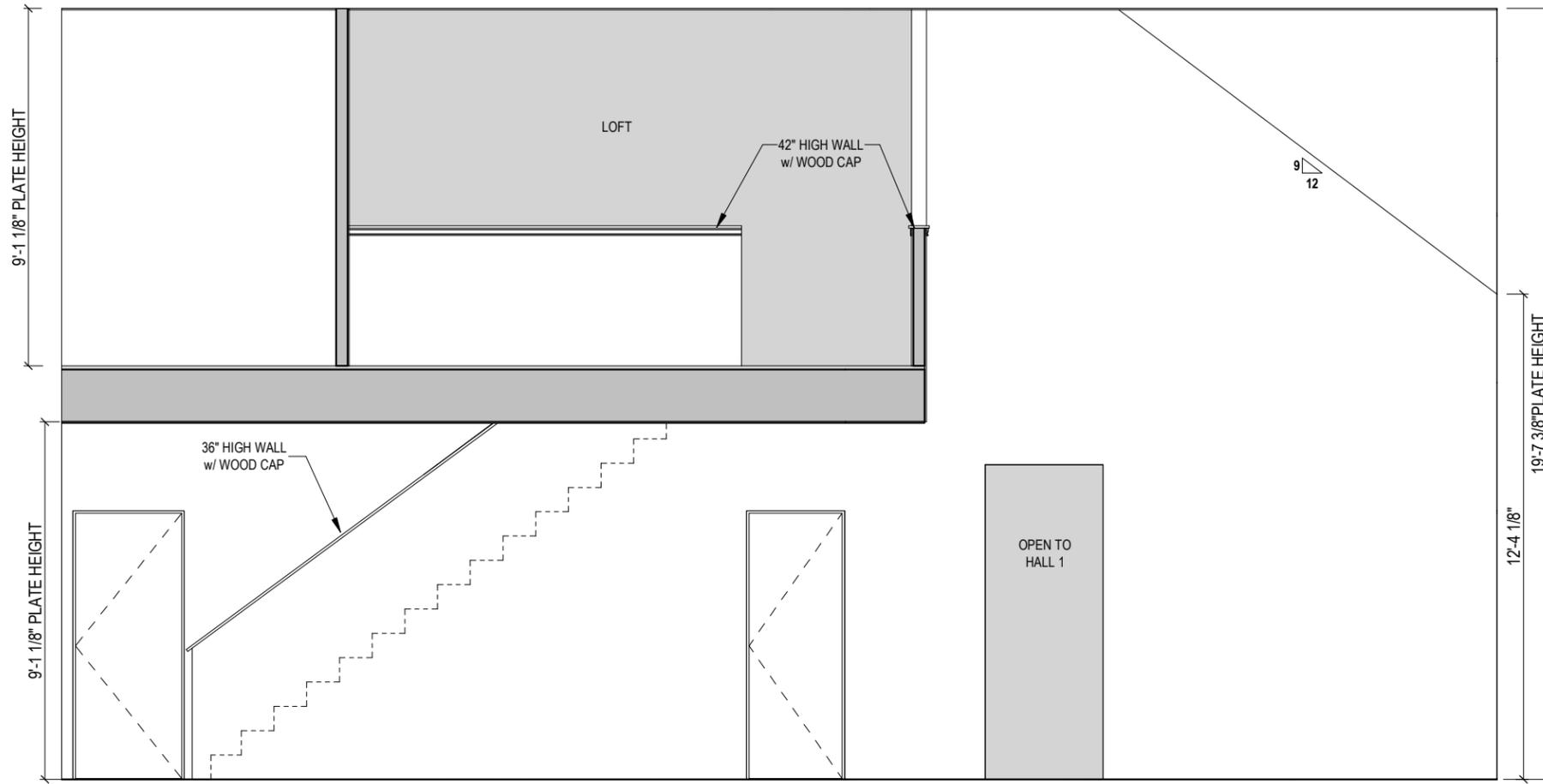
**6 MASTER BATH**  
1/4" = 1'-0"



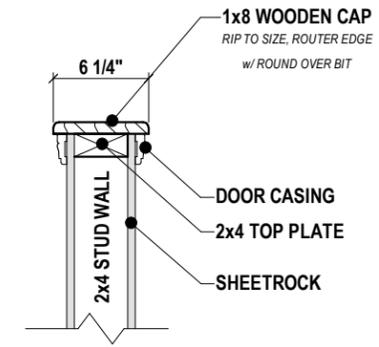
**7 MASTER BATH - WC**  
1/4" = 1'-0"



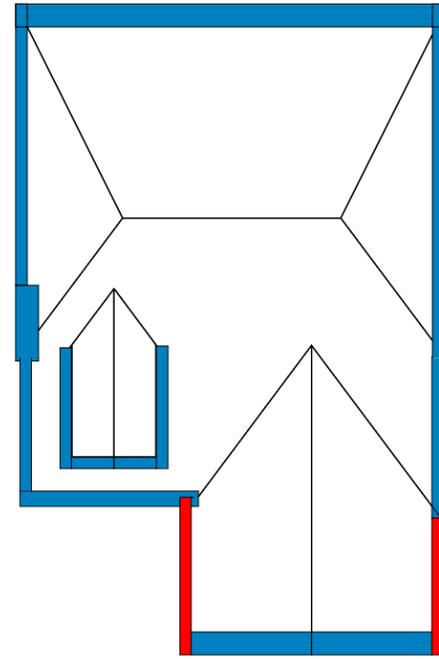
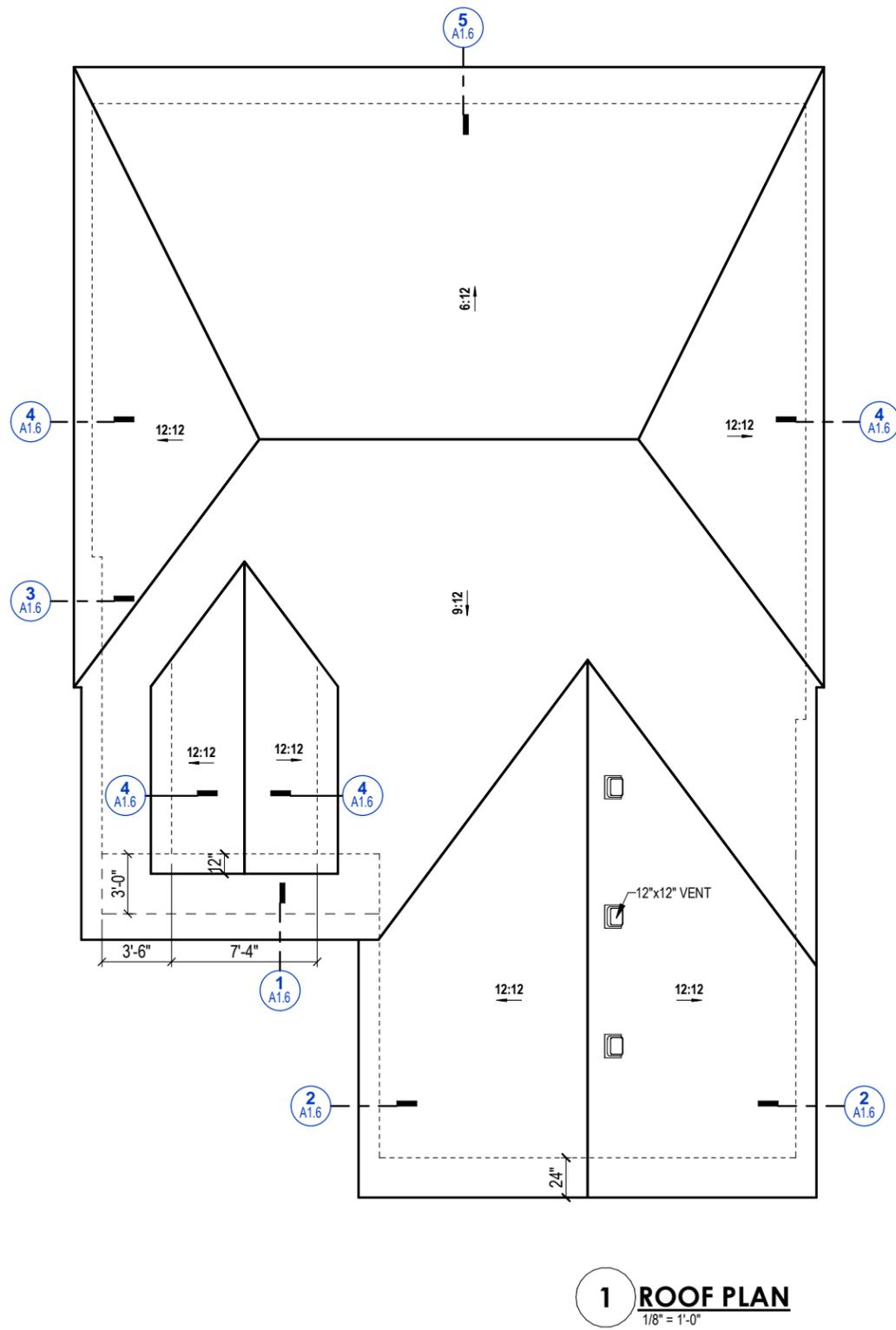
**8 BATH 2**  
1/4" = 1'-0"



**9 STAIR WALL**  
1/4" = 1'-0"

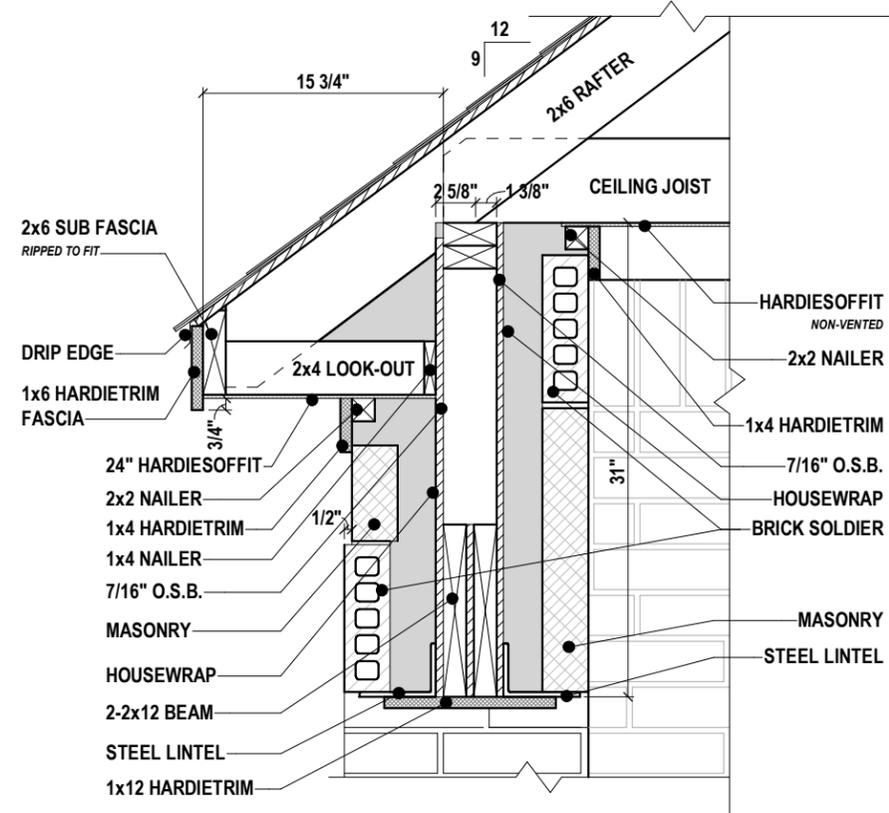


**KNEE WALL DETAIL**

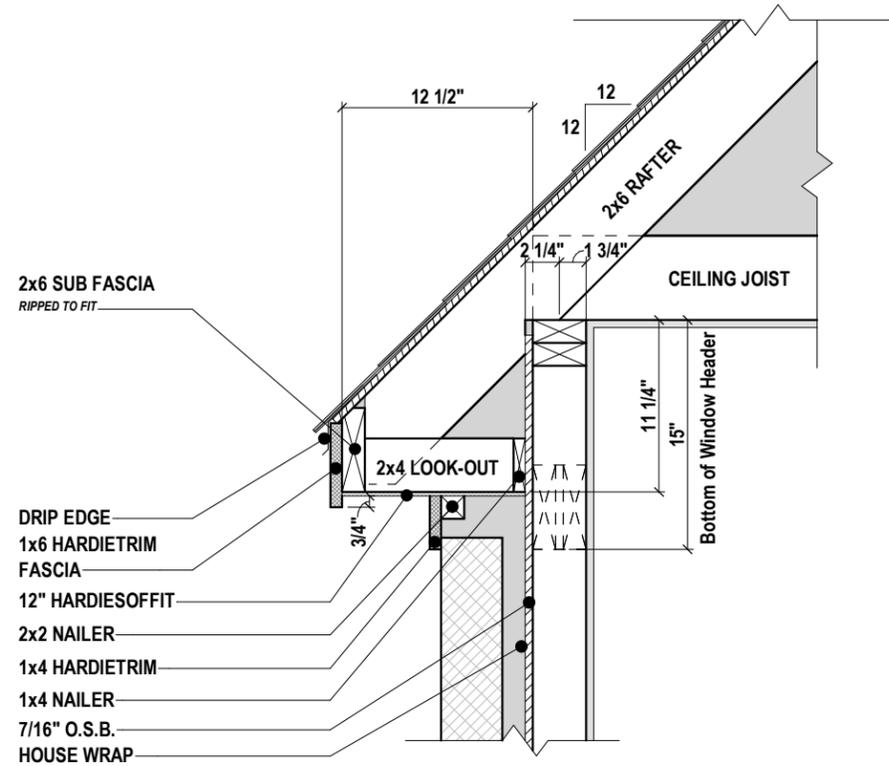


**SOFFIT LEGEND**

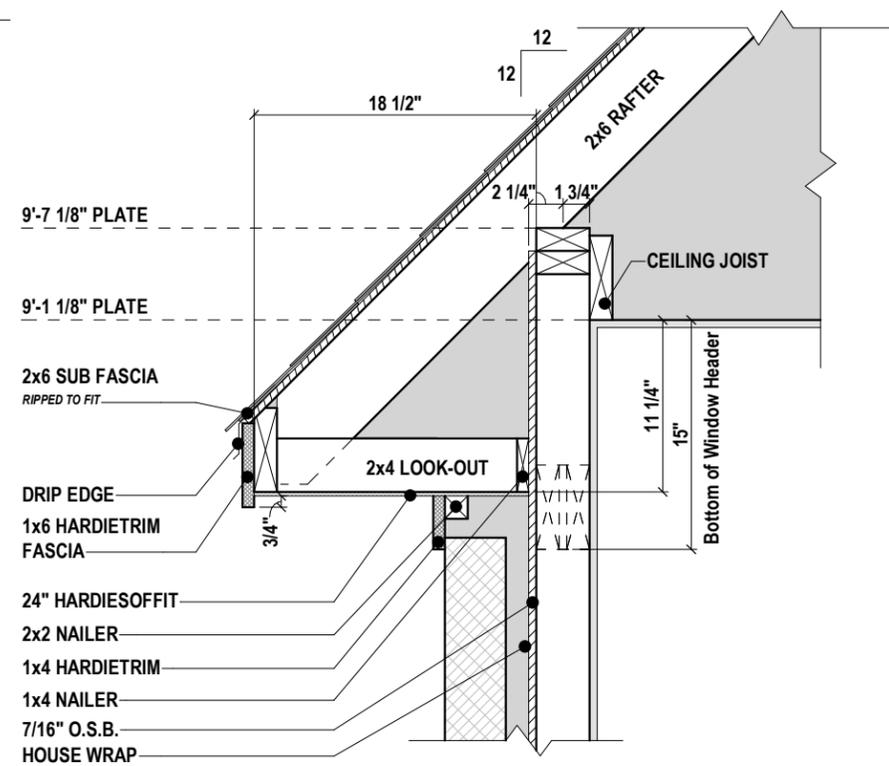
	VENTED SOFFIT
	NON VENTED SOFFIT



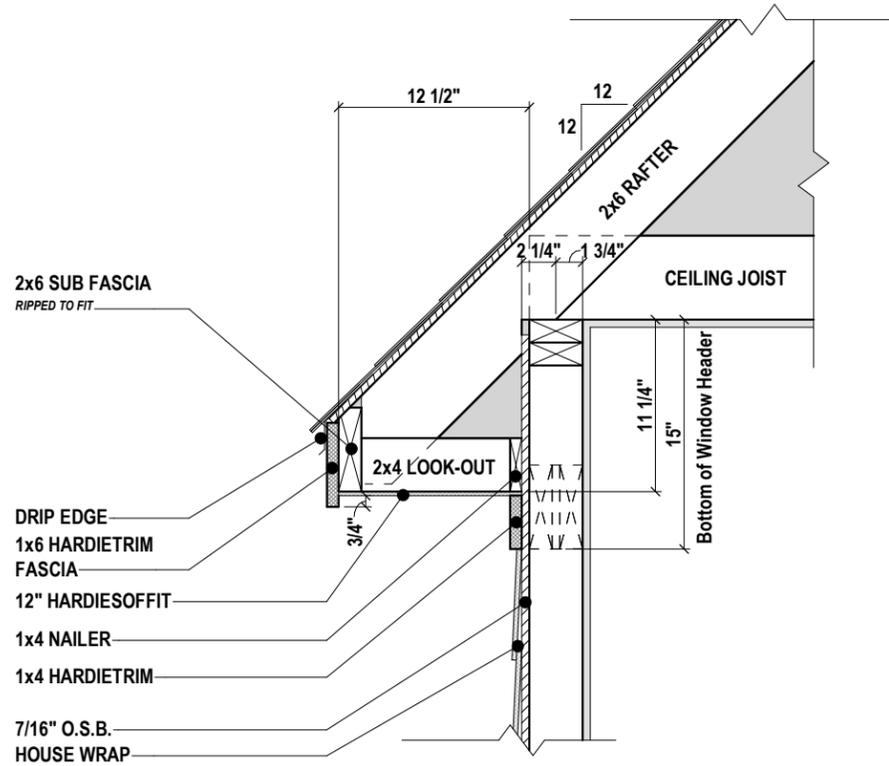
**1 FRONT PORCH CORNICE**  
1" = 1'-0"



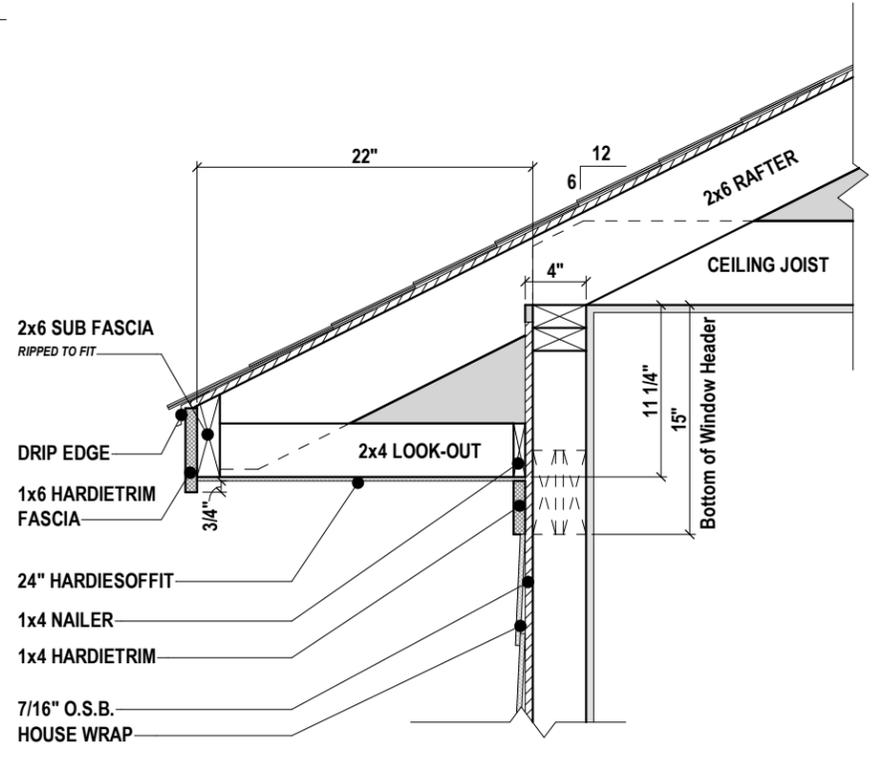
**2 12-12 MASONRY CORNICE**  
1" = 1'-0"



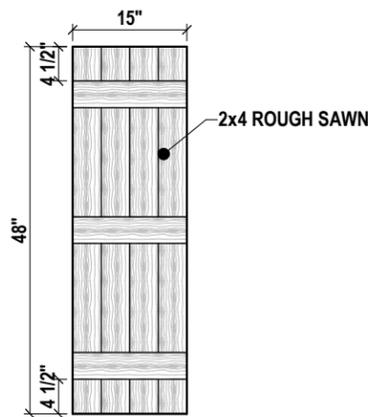
**3 12-12 MASONRY CORNICE**  
1" = 1'-0"



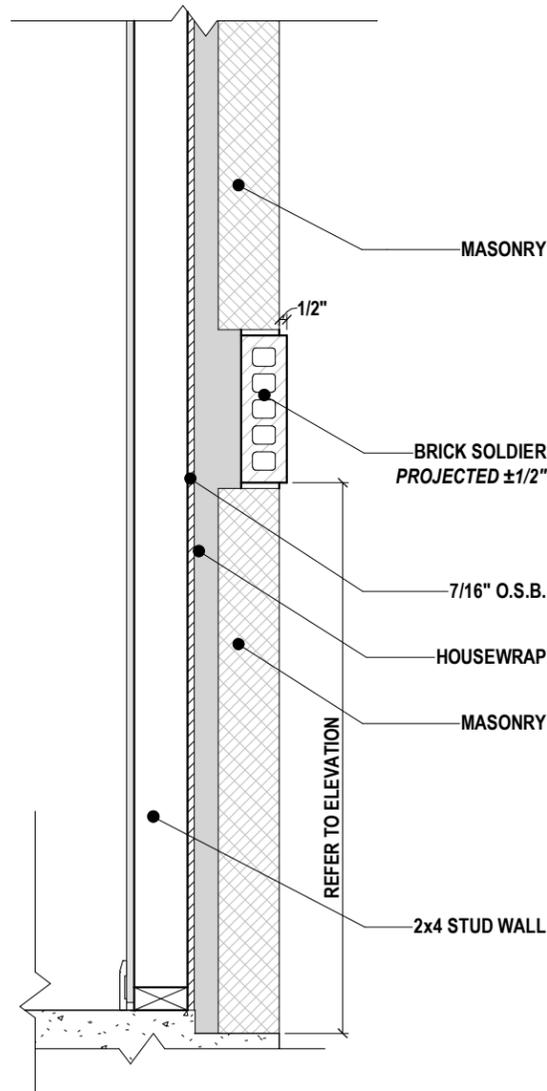
**4 12-12 CORNICE**  
1" = 1'-0"



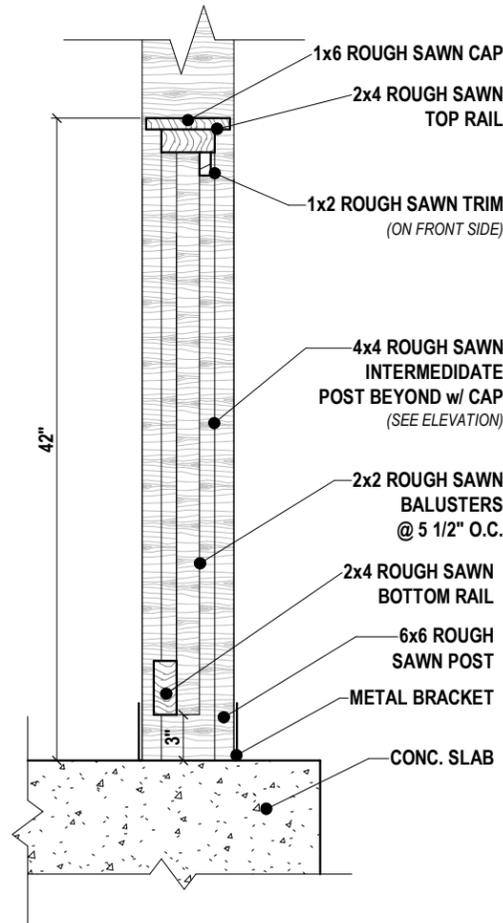
**5 6-12 CORNICE**  
1" = 1'-0"



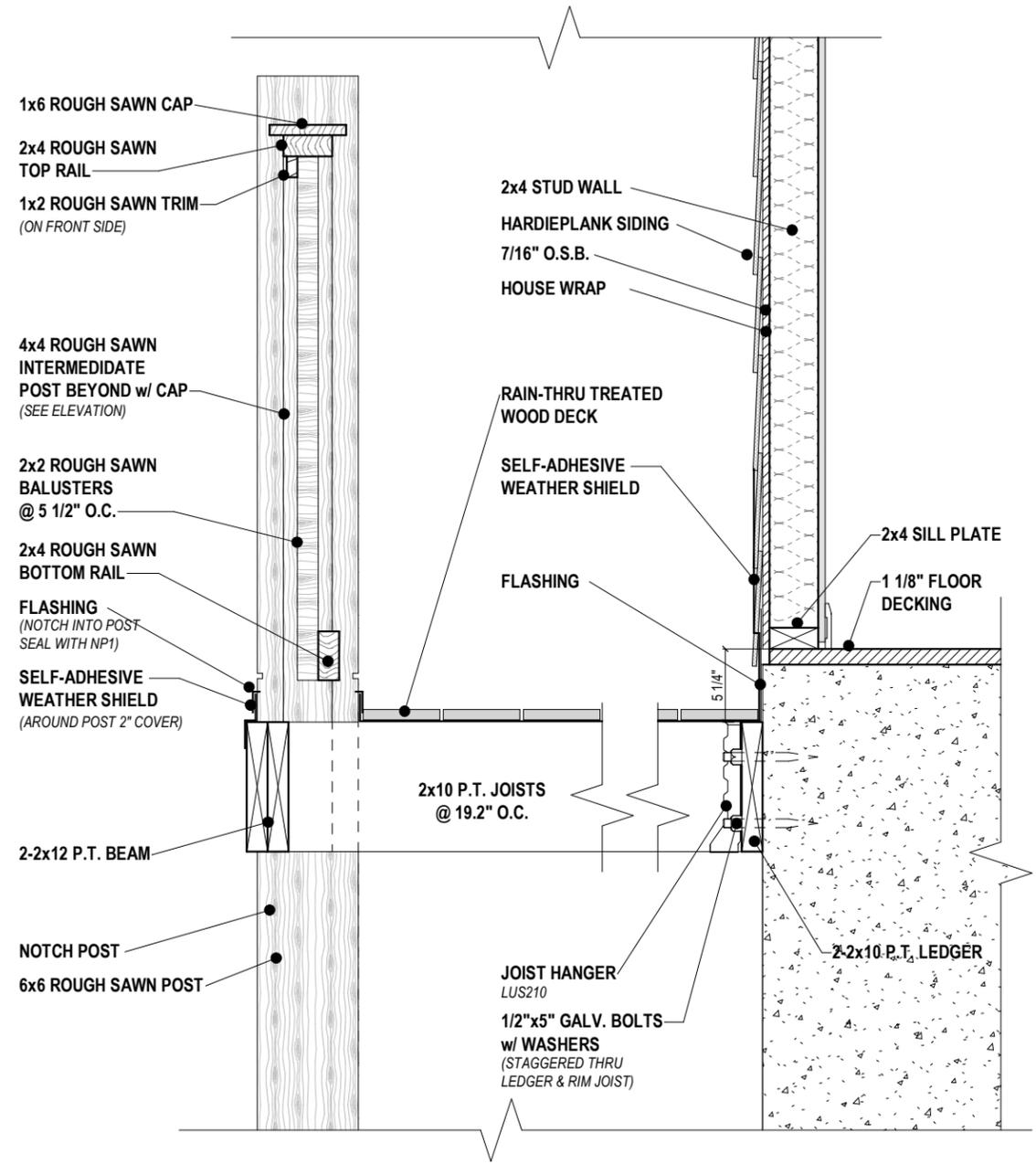
**6 SHUTTER DETAIL**  
1/2" = 1'-0"



**7 BRICK SOLDIER DETAIL**  
1" = 1'-0"



**8 CONCRETE PORCH RAIL DETAIL**  
1" = 1'-0"



**9 WALK - OUT DECK DETAIL**  
1" = 1'-0"

Adjacent Housing Attributes

Source: RCAD

Address	Year Built	Living Area	Accessory Building SF	Exterior Materials
102 Mischief Lane	2000	2,654	-	Brick and HardiBoard
104 Mischief Lane	1990	2,097	-	Brick and Stone
105 Mischief Lane	2001	2,063	-	Brick
106 Mischief Lane	1995	2,295	-	Brick and Siding
108 Mischief Lane	2003	4,000	-	Brick and Stone
109 Mischief Lane	1994	2,550	-	Brick and Siding
110 Mischief Lane	N/A	N/A	N/A	N/A
112 Mischief Lane	2015	3,613	-	Brick and Stone
114 Mischief Lane	2005	3,120	-	Brick and Stone
116 Mischief Lane	2003	2,302	160	Brick and Siding
118 Mischief Lane	N/A	N/A	N/A	N/A
120 Mischief Lane	2012	2,592	-	Brick and Stone
122 Mischief Lane	2006	2,325	-	Brick and Stone
124 Mischief Lane	2006	2,854	-	Brick and Stone
125 Mischief Lane	2016	3,406	-	Brick and Stone
126 Mischief Lane	1995	3,124	-	Brick
127 Mischief Lane	2000	2,004	-	Brick and Siding
128 Mischief Lane	2002	2,357	-	Brick and Stone
129 Mischief Lane	1995	2,246	-	Brick, Stone and Siding
130 Mischief Lane	2015	3,146	-	Brick and Stone
131 Mischief Lane	2002	3,147	-	Brick and Siding
132 Mischief Lane	2005	2,664	-	Brick, Stone and Stucco
Averages:	2003	2,728		



102 Mischief Lane



104 Mischief Lane



105 Mischief Lane



106 Mischief Lane



108 Mischief Lane



109 Mischief Lane



110 Mischief Lane



112 Mischief Lane



114 Mischief Lane



116 Mischief Lane



118 Mischief Lane



120 Mischief Lane



122 Mischief Lane



124 Mischief Lane



125 Mischief Lane



126 Mischief Lane



127 Mischief Lane



128 Mischief Lane



129 Mischief Lane



130 Mischief Lane



131 Mischief Lane



132 Mischief Lane

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1637-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 12, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1637-acre parcel of land being described as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF OCTOBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 21, 2020

2<sup>nd</sup> Reading: October 5, 2020

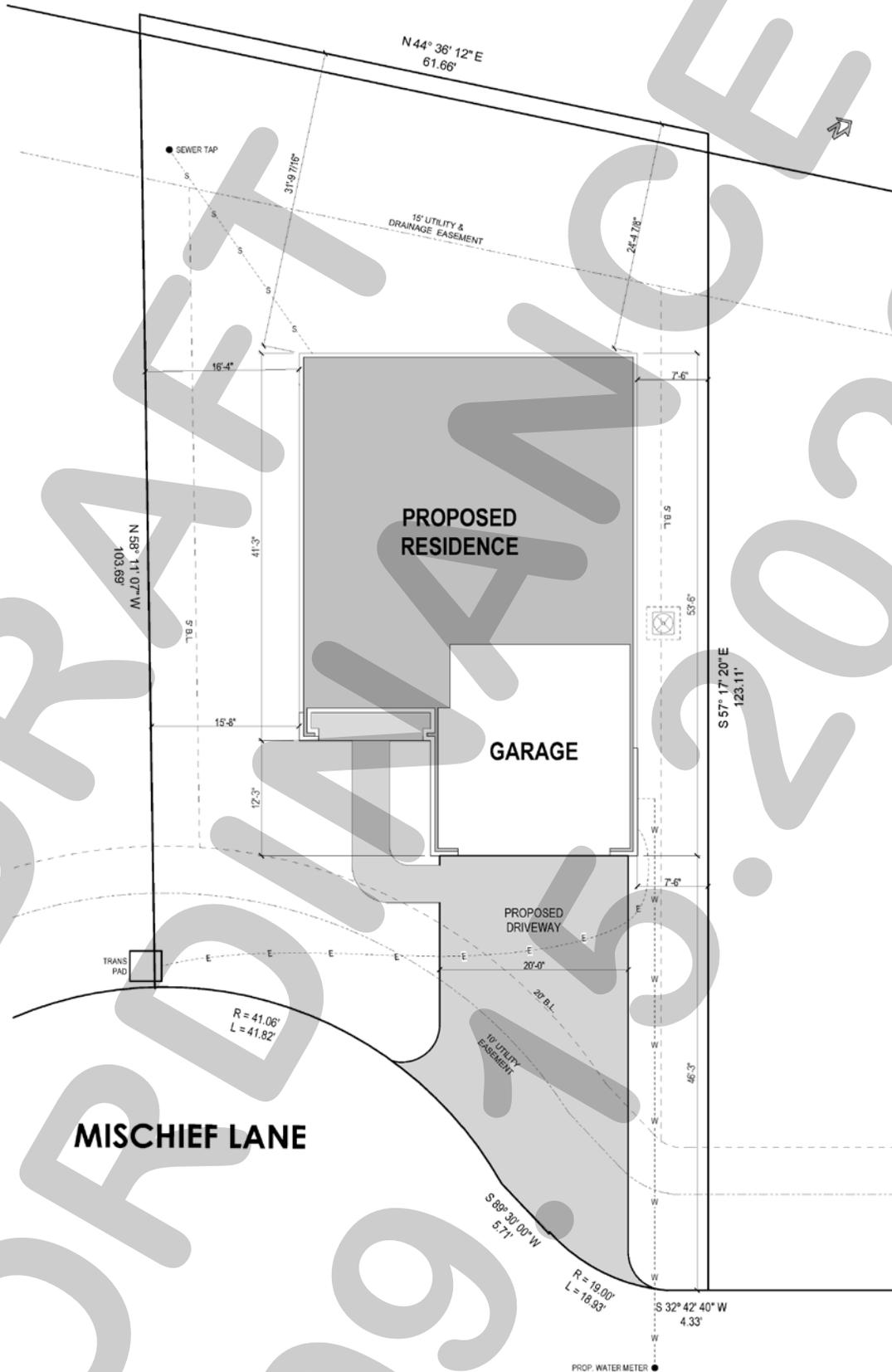
**Exhibit 'A'**  
*Location Map and Survey*

Address: 118 Mischief Lane

Legal Description: Lot 12, Block A, Chandler's Landing, Phase 20



**Exhibit 'B':  
Residential Plot Plan**



LOT 12, BLOCK A, CHANDLER'S LANDING PHASE 20  
8 MISCHIEF LANE . ROCKWALL, TX. 75032

Z2020-034: SUP for 118 Mischief Lane  
Ordinance No. 20-XX; SUP # S-2XX

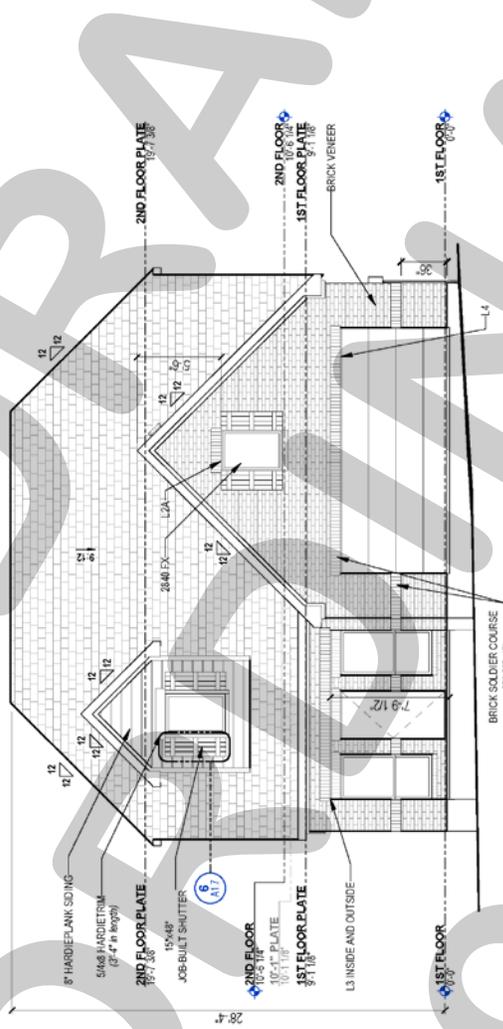
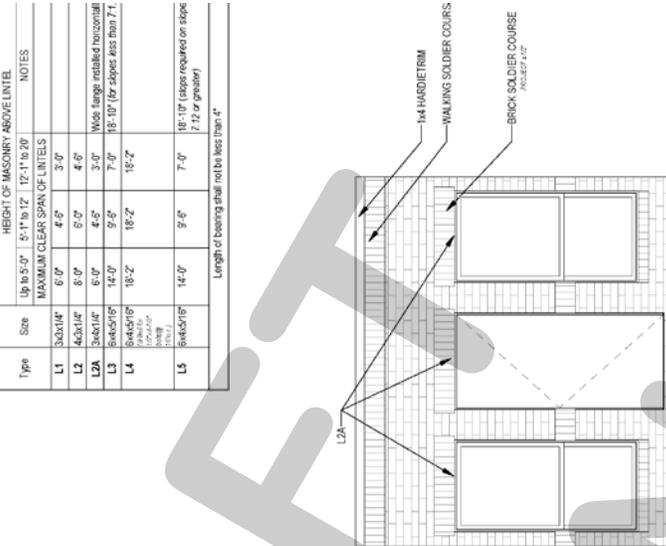
**1 SITE PLAN**  
1" = 10'-0"

**Exhibit 'C':  
Building Elevations**

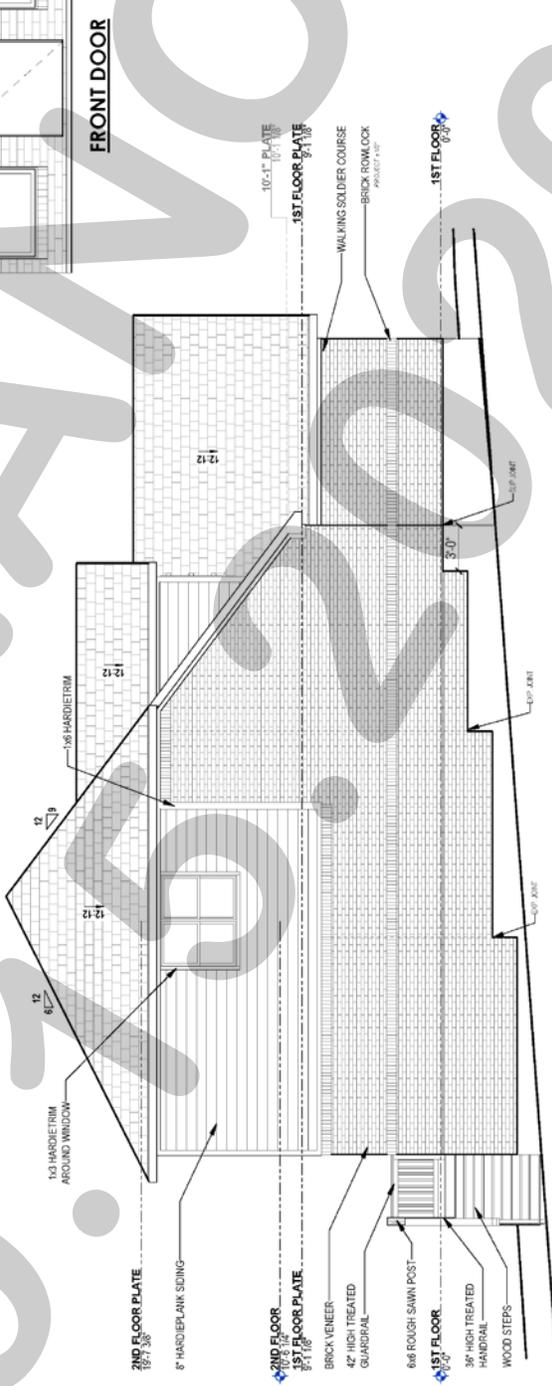
STEEL LINTEL SELECTION			
Type	Size	HEIGHT OF MASONRY ABOVE LINTEL	
		5'-11" to 12'	12'-1" to 20'
NOTES			
MAXIMUM CLEAR SPAN OF LINTELS			
L1	3x6x1/4"	6'-0"	3'-0"
L2	4x6x1/4"	8'-0"	4'-0"
L3	6x6x5/16"	14'-0"	7'-0"
L4	8x6x5/16"	18'-2"	18'-2"
L5	8x6x5/16"	14'-0"	9'-5"

Length of bearing shall not be less than 4"

18'-10" slope required on slope 7:12 or greater

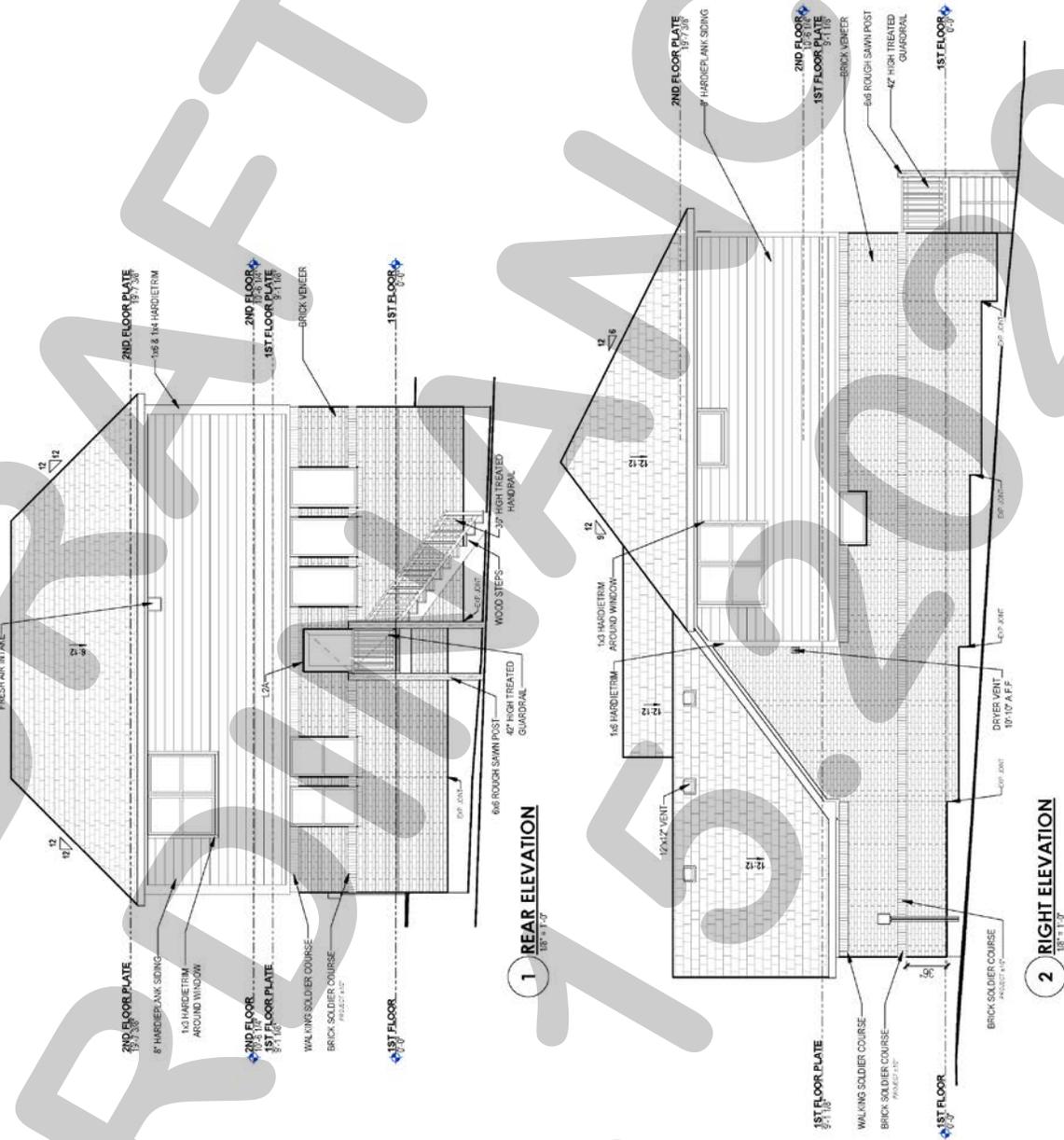


**1 FRONT ELEVATION**  
18'-7" x 18'-0"



**2 LEFT ELEVATION**  
18'-7" x 1'-0"

Exhibit 'C':  
Building Elevations





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** September 15, 2020  
**APPLICANT:** Allen Anderson, *Adlor Enterprises, LLC*  
**CASE NUMBER:** Z2020-035; *Specific Use Permit for a Restaurant, 2,000 SF or More, with a Drive-Through at 902 & 906 S. Goliad Street*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

### BACKGROUND

The subject property is considered to be a part of the Old Town, and was annexed prior to 1934 based on the August 25, 1934 Sanborn Maps. According to the January 3, 1972 zoning map, the subject property was zoned Single-Family 2 (SF-2) District. At some point between January 3, 1972 and May 16, 1983, the subject property was rezoned to a Single-Family 10 (SF-10) District according to the 1983 zoning map. The subject property retained the Single-Family 10 (SF-10) District zoning designation until September 6, 2005 when the City Council approved Planned Development District 62 (PD-62) by adopting *Ordinance No. 05-42 [Case No. Z2005-031]*. This Planned Development District re-designated the subject property for General Retail (GR) District land uses. In addition, the Planned Development District also re-designated the 0.7329-acre tract of land directly west of the subject property for Zero Lot Line (ZL-5) District land uses. At the time of the zoning change, situated on the 0.7329-acre tract of land was an existing 2,773 SF single-family home that was constructed in 1980. This tract of land, along with the subject property, were platted into Lots 1-3, Block A (*i.e. the 0.7329-acre tract of land*) and Lot 1, Block B (*i.e. the subject property*), Jack Canup Addition (*Case No. P2006-040*), which was filed with Rockwall County on April 11, 2007. The two (2) undeveloped lots west of the subject property (*i.e. Lots 1 & 2, Block A*) were developed with single-family homes in 2016. The subject property was vacant at the time the area was rezoned to Planned Development District 62 (PD-62), and has remained vacant since.

### PURPOSE

The applicant -- *Allen Anderson* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with a Drive-Through/Drive-In* to allow the development of a restaurant (*i.e. Taco Bell*) on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 902 & 906 S. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W, Bourn Avenue, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway is a 1.8046-acre parcel of land (*i.e. Lot 14, Block M, Sanger Addition*) that serves as an overflow parking lot for the First Baptist Church of Rockwall. The parking lot is zoned General Retail (GR) District. West of this land use, and northwest of the subject property, are eight (8) single-family homes (*i.e. Lots 6-13, Block M, Sanger Addition*) that are zoned Zero Lot Line (ZL-5) District.

South: Directly south of the subject property is a 15-foot undeveloped alleyway. Beyond this are 13 single-family residential lots (*i.e. Lots 1-6, Block 1 and Lots 1-7, Block 2, L&W Addition*) with 12 single-family homes situated on them. All of these properties are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is the beginning of the S. Goliad Street [*SH-205*]/Ridge Road [*FM-740*] split, where a portion of S. Goliad Street proceeds south and a portion of the street splits and turns into Ridge Road. Ridge Road is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) and S. Goliad Street is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land (*i.e. Lots 1-5, Block A, Canup Addition*) that have two (2) buildings situated on them (*i.e. Mattress Depot and Rockwall Floor Covering*). These five (5) parcels of land are zoned Commercial (C) District.

West: Directly west of the subject property is a 20-foot alleyway that is partially developed. Beyond this are three (3) single-family, residential lots (*i.e. Lots 1-3, Block A, Jack Canup Addition*) with three (3) single-family homes situated on them. These properties are zoned Planned Development District 62 (PD-62) for Zero Lot Line (ZL-5) District land uses. Beyond these parcels of land is S. Alamo Street, which is designated as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) single-family residential lots (*i.e. Lots 1-4, Block A and Lots 1-2, Block B, John Spong Subdivision #1*) with five (5) single-family homes situated on them. These lots are followed by the Lake Meadows Subdivision, which consists of 26 residential lots that were established in 1968. All of these properties are zoned Single-Family 10 (SF-10) District.

## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a 2,053 SF restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented so that the drive-through and *bailout* lanes will be adjacent to S. Goliad Street. The *food delivery/payment window* will also be located adjacent S. Goliad Street, with the *restaurant ordering board* (*i.e. the point of order*) being oriented toward the southern property line. It should be noted that the *restaurant ordering board* is ~101-feet from the closest residential property line to the south, and ~173-feet from the closest residential property line to the west. The concept plan also depicts five (5) vehicles being able to be cued from the *restaurant ordering board* to the *food delivery/payment window*, with one (1) vehicle being able to be cued behind the car at the *restaurant ordering board*. On the southside of the drive-through lane -- *in close proximity to the restaurant ordering board* -- is the loading zone, which is located ~72-feet from the closest residential property line to the south and ~114-feet from the closest residential property line to the west.

Ingress and egress for the property will be provided via a driveway off of S. Goliad Street and a driveway off of W. Bourn Street. Staff should note that the subject property currently has a driveway off of S. Goliad Street that is located in approximately the center of the subject property. The concept plan shows this driveway being moved further south on the subject property closer to the S. Goliad Street [*SH-205*]/Ridge Road [*FM-740*] split. The parking requirement for a *Full-Service Restaurant* (*i.e. a restaurant that provides indoor ordering, seating and dining*) is one (1) parking space per 100 SF of floor area. In this case, the parking requirement for the proposed restaurant would be 21 parking spaces. The concept plan shows the provision of 26 parking spaces and is over parked by four (4) spaces per the parking requirements. Along the southern and western property lines the applicant is proposing to construct a six (6) foot masonry wall with canopy trees being planted on 20-foot centers. The concept plan also shows a shrub row being provided adjacent to S. Goliad Street.

## **CONFORMANCE WITH THE CITY'S CODES**

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant with 2,000 SF or More with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of requiring a Specific Use Permit (SUP) for this land use in a General Retail (GR) District is tied to the fact that this zoning designation is typically located directly adjacent to or in close proximity to single-family residentially zoned districts. According to the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide *limited* retail and service uses for one (1) or more neighborhoods ... [i]t is not a major commercial/retail district and should try to avoid intensive commercial land uses that carry large volumes of retail traffic."

Based on the potential ability of the *Restaurant with 2,000 SF or More with a Drive-Through or Drive-In* land use to generate higher traffic volumes, this land use was identified as needing discretionary oversight from the Planning and Zoning Commission and City Council. More simply stated, this land use may not be appropriate on all properties zoned General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lands for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements and provides shrubs along S. Goliad Street to help impair the visibility of headlights; however, the proposed concept plan shows the business making use of W. Bourn Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. This non-conformity would need to be considered as part of this request. Staff should also point out that additional landscaping may need to be provided at the corner of S. Goliad Street and W. Bourn Street to further impair the visibility of headlights on to W. Bourn Street. This can be determined on the *Landscape Plan* submittal with the *Site Plan*, and this requirement has been added to the operational conditions in the attached draft ordinance.

According to the *Residential Adjacency Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he residential adjacency standards shall apply when a use is proposed for a non-residential building or site that is adjacent to a residential district, and both of the following conditions apply: (a) An existing or proposed building, structure, or device on the lot is within 150-feet of a residential district boundary ... (b) One or more of the following uses are proposed: (2) Restaurants, including accessory outdoor seating, with drive-in or drive-through facilities." In this case, the subject property is directly adjacent to residentially zoned and used property on the southern and western boundaries. In addition, the building is 124-feet from the residentially zoned and used property to the south, and the *restaurant ordering board* -- which is defined as an individual service speaker and falls under devices -- is 101-feet from the residentially zoned and used property to the south. Based on this, the following *Residential Adjacency Standards* would apply:

- (1) Noise. Any use containing individual service speakers shall not be permitted within 150-feet of any residential district unless the speaker is appropriately screened and shall meet the standards established in Article IV, *Noise*, of Chapter 16, *Environment*, of the Municipal Code of Ordinances. The Planning and Zoning Commission may require wing walls, landscape screens, changes in building orientation, and/or other design elements to screen and minimize the impact of the individual service speakers.

In this case, it may be prudent for the Planning and Zoning Commission to require additional landscape screening directly south of *restaurant ordering board*; however, this would be a discretionary decision for the Planning and Zoning Commission. Staff has added this as a condition of approval for the consideration of the Planning and Zoning Commission.

According to the City's *Engineering Standards of Design Manual*, the driveway along S. Goliad Street does not meet the minimum 200-foot spacing requirement; however, as previously stated the subject property currently has an existing driveway that is located in approximately the center of the eastern property line. The applicant's plan shows this driveway being widened and moved further south toward the S. Goliad Street [SH-205]/Ridge Road [FM-740] split. The total distance from the intersection of W. Bourn Street and S. Goliad Street [SH-205] and the new driveway would be 175-feet, and ~220-feet from the intersection of Glenn Avenue and Ridge Road [FM-740]. Staff should note that the driveway location does not meet the Texas Department of Transportation's (TXDOT's) requirements, which are 425-feet from any existing drive location. This will need to be appealed to TXDOT for approval of a variance, which they can issue at their discretion through the civil engineering process.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District. The submitted building elevations will be subject to review by the Architectural Review Board (ARB) at the time of site plan; however, the elevations are being tied down in the draft ordinance to ensure that no major changes will be made if the City Council chooses to approve the applicant's request.

**STAFF ANALYSIS**

When this request was originally reviewed, staff recommended to the applicant that they limit the hours of operation to 7:00 AM to 10:00 PM due to the close proximity of the restaurant to residential properties. This has typically been done in areas where a higher intensity commercial use (e.g. a fast food restaurant with drive-through/drive-in), requires a Specific Use Permit (SUP), and is directly adjacent to -- and/or within 150-feet of -- a residentially zoned or used property. A good example of this would be the Specific Use Permits (SUPs) that have been approved in the N. Goliad Street area north of the Downtown (DT) District. In this case, a representative of the applicant indicated at the work session that the proposed restaurant would have similar hours as the other location on Ridge Road [FM-740], which are 9:30 AM - 3:00 AM on Fridays and Saturdays, and 9:30 AM – 2:00 AM on Mondays through Thursdays.

Another suggestion from staff was to increase the required screening adjacent to the residential areas due to the close proximity of the proposed restaurant to the existing residential properties to the south and west. This was also driven by the *Residential Adjacency Standards* that ask for increased screening -- *that is above and beyond the ordinance requirements* -- to help mitigate the impact of a commercial business that is within 150-feet of a residential property. The following is a breakdown of the distances for structures referenced in the *Residential Adjacency Standards* as proposed by the applicant's concept plan:

	Residential Properties to the West	Residential Properties to the South
Restaurant Building	156-feet	124-feet
Restaurant Ordering Board	173-feet	101-feet
Loading Zone	114-feet	72-feet
Drive Through Cueing Lane	70-feet and 131-feet	87-feet

Based on this information staff requested that the applicant provide an exhibit showing the increased screening that was being proposed, and requested that the applicant consider increasing the height of the proposed masonry wall to eight (8) feet. The returned concept plan shows conformance to the minimum standard, which is a six (6) foot masonry wall with canopy trees (a *minimum of four [4] caliper inches*) being provided on 20-foot centers. Staff should note that no additional screening or sound attenuation was provided.

Should the Planning and Zoning Commission choose to recommend approval of the applicant's request staff has included conditions of approval requiring a Traffic Impact Analysis (TIA), Noise Study, and additional landscaping at the intersection of S. Goliad Street and W. Bourn Street, and approval of a variance from the Texas Department of Transportation (TXDOT) for the widening and moving of the driveway along S. Goliad Street. In addition, the Planning and Zoning Commission has the discretion to require additional landscaping south of the *restaurant ordering board* and adjacent to the residential homes along the southern and western property lines per the *Residential Adjacency Standards*. Based on staff's review of the submitted concept plan it appears that this site would warrant consideration of additional landscape screening. As a result, staff has included these as conditions of approval in the below case memo. It may also be appropriate for the Planning and Zoning Commission -- *if choosing to recommend approval of this request* -- to establish hours of operation, in the Specific Use Permit (SUP) ordinance, that are more suitable for residential adjacency than the hours of operation indicated by the applicant during the work session; however, since the applicant has requested that these be removed from the draft ordinance staff has not included them as an operational condition or a condition of approval. If the Planned and Zoning Commission chooses to recommend hours of operation, this would need to be indicated in a motion. With all this being said, a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

**NOTIFICATIONS**

On August 15, 2020, staff mailed 107 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stonebridge Meadows Homeowners Association (HOA), which is the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program (*the Highridge Estates Homeowners Association [HOA] is listed on the notification map, but has not provided contact information*). Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 17 responses (i.e.

one [1] online notification form, seven [7] notices, seven [7] emails and two [2] letters) from 15 property owners in opposition to the applicant's request and two (2) notices from one (1) property owner in favor of the applicant's request.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. Taco Bell*), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.
  - (b) The construction of a Restaurant, 2,000 SF or More, with a Drive Through or Drive-In on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
  - (c) A minimum of a six (6) foot masonry wall (constructed with materials matching the primary structure) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
  - (d) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.
- (2) Concurrently with the submittal of a site plan the applicant shall submit a *Noise Study* showing that no potential impacts will be created by the construction of the restaurant to the existing single-family homes situated along the southern and western property lines.
- (3) A Traffic Impact Analysis (TIA) shall be submitted and reviewed by the City of Rockwall prior to accepting a site plan application for the subject property.
- (4) A variance request will be approved by the Texas Department of Transportation (TXDOT) prior to the acceptance of a site plan application.
- (5) Additional trees, bushes, and shrubs will be required at: [1] the corner of S. Goliad Street and W. Bourn Street; [2] adjacent to the masonry wall along the southern and western property boundaries (*i.e. adjacent to the residential adjacency*), and [3] south of the *restaurant ordering board*. These will be required to be shown on the landscape plan submitted with the site plan.
- (6) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."
- (7) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-035

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 906 S. Goliad St

Subdivision Jack Canup Addition

Lot 1 Block B

General Location Southwest Corner of S. Goliad St & Bourn St

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-62

Current Use Vacant

Proposed Zoning PD-62

Proposed Use Restaurant (>2,000sf) w/ drive-thru

Acreage 1.131

Lots [Current] 1

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ADLOR ENTERPRISES, LLC

Applicant

Contact Person ALLEN ANDERSON

Contact Person

Address 1208 S. LAKESHORE DR

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 214 538-2209

Phone

E-Mail AAINTX@MSN.COM

E-Mail

## NOTARY VERIFICATION [REQUIRED]

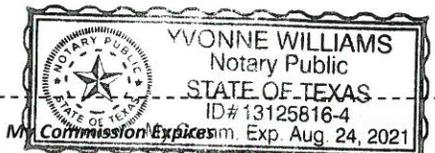
Before me, the undersigned authority, on this day personally appeared ALLEN ANDERSON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

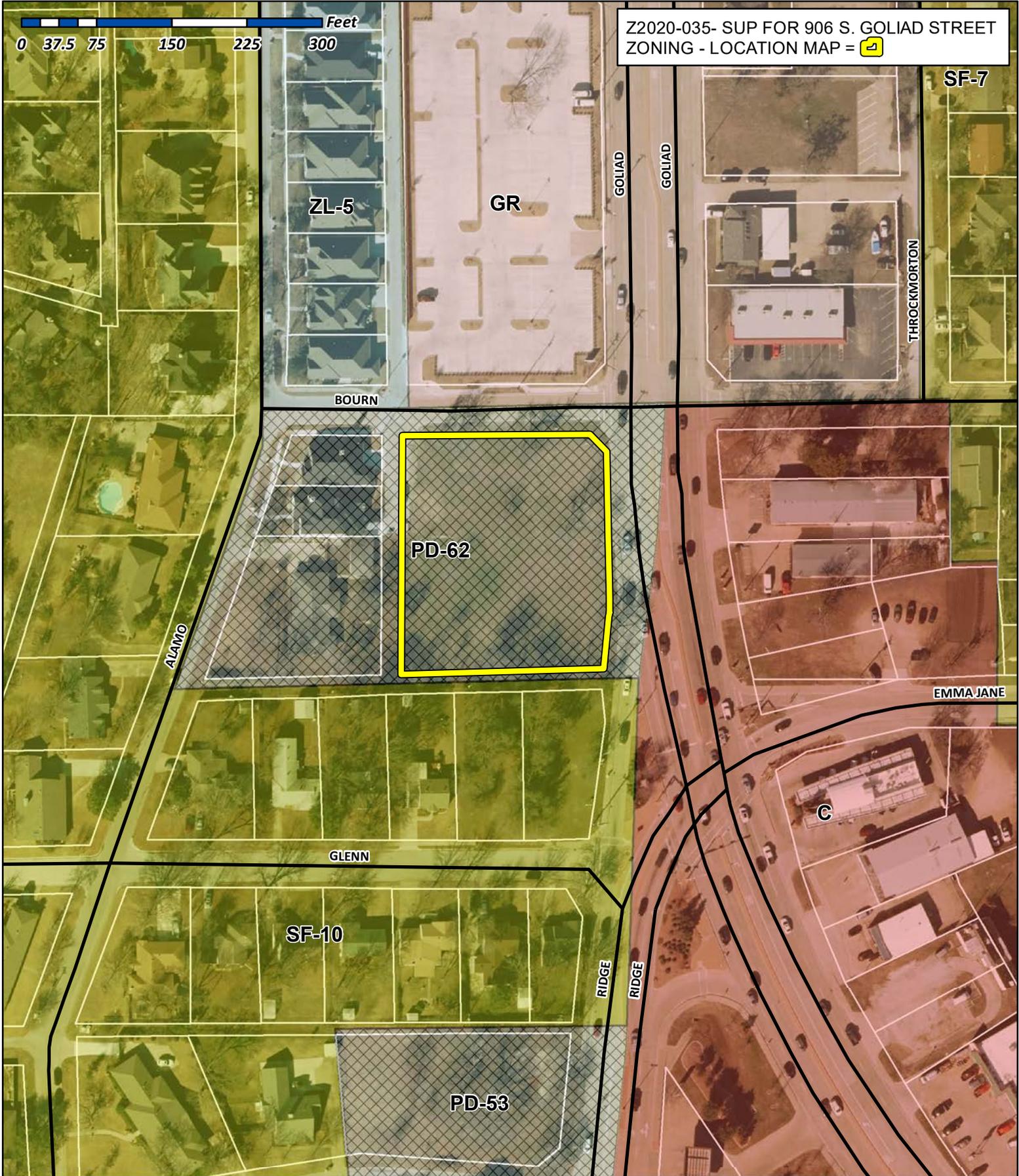
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 21697, to cover the cost of this application, has been paid to the City of Rockwall on this the 8 day of 14, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 8 day of 14, 20 20.

Owner's Signature

Notary Public in and for the State of Texas





# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

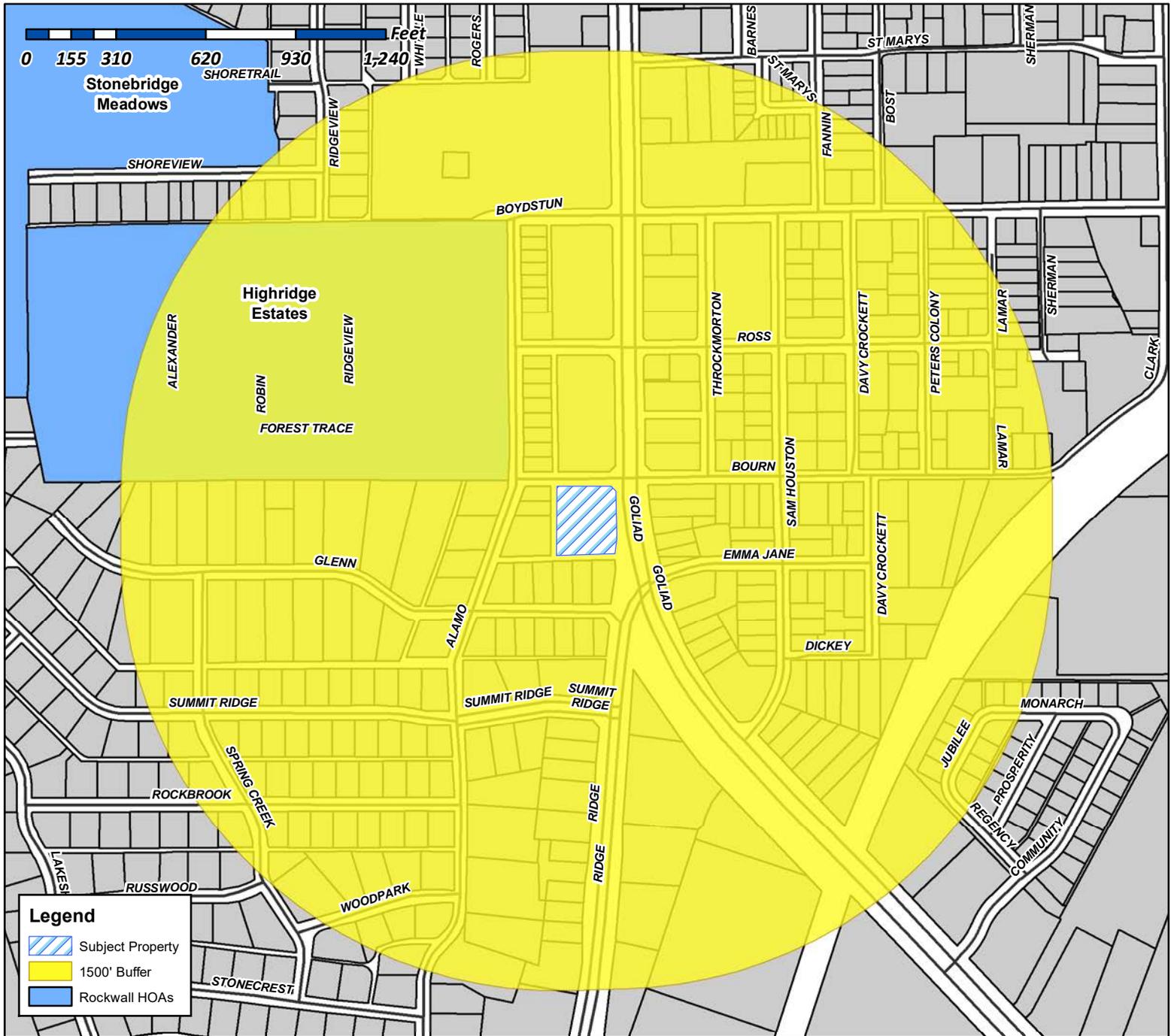
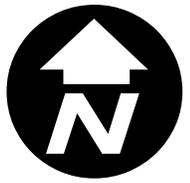




# City of Rockwall

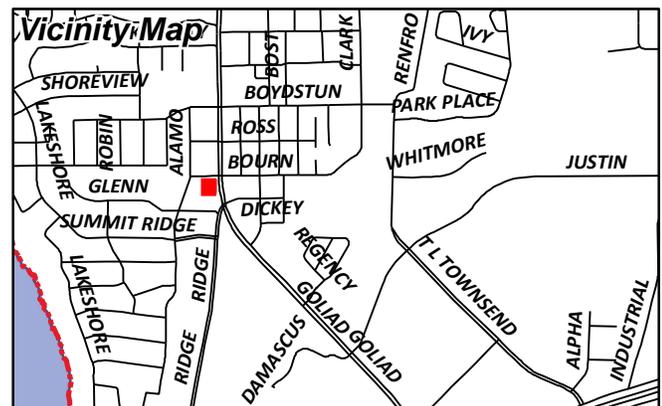
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2020-035  
**Case Name:** SUP for 906 S. Goliad Street  
**Case Type:** Zoning  
**Zoning:** Planned Development District 62 (PD-62)  
**Case Address:** 906 S. Goliad Street

**Date Created:** 8/14/2020  
**For Questions on this Case Call (972) 771-7745**



**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program  
**Date:** Thursday, September 3, 2020 9:07:30 AM  
**Attachments:** [HOA Map \(08.14.2020\).pdf](#)  
[Public Notice \(08.18.2020\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on [Friday, August 21, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 15, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 21, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-035 SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

---



EDWARDS JASON  
10 DANCING WATERS  
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K  
C/O SONIC  
1001 S GOLIAD ST  
ROCKWALL, TX 75087

RB CAPITAL LTD  
1002 RIDGE RD  
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN  
1003 S GOLIAD  
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A  
1004 S ALAMO  
ROCKWALL, TX 75087

MALAVE BRENDA L  
1006 SAM HOUSTON ST  
ROCKWALL, TX 75087

QCSI FIVE LLC  
C/O IEQ MANAGEMENT INC  
1007 RIDGE  
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH  
1008 SAM HOUSTON  
ROCKWALL, TX 75087

LIVAY LLC  
1009 HOT SPRINGS DR  
ALLEN, TX 75013

EFENEY WILLIAM M  
1009 S GOLIAD  
ROCKWALL, TX 75087

GEHRING CAROLYN S  
101 GLENN  
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC  
102 GLENN  
ROCKWALL, TX 75087

ROHLF DAVID E  
102 E ROSS AVE  
ROCKWALL, TX 75087

HOWARD DUSTIN AND  
JAMES R HOWARD  
103 GLENN AVENUE  
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX  
104 GLENN  
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX  
105 GLENN AVE  
ROCKWALL, TX 75087

SCOTT BILLIE JEAN  
106 GLENN AVE  
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST  
BARBARA J PFENNING TRUSTEE  
107 GLENN  
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA  
108 GLENN AVENUE  
ROCKWALL, TX 75087

CG HOLDINGS LLC  
109 GLENN  
ROCKWALL, TX 75087

HOOVER JERRY H  
110 GLENN AVE  
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE  
1101 S ALAMO  
ROCKWALL, TX 75087

ERVIN RICHARD L & TERRI K  
C/O SONIC  
1101 S GOLIAD  
ROCKWALL, TX 75087

NEWMAN JOANNA N  
111 GLENN AVE  
ROCKWALL, TX 75087

WILLIAMS KATHY S  
112 GLENN AVE  
ROCKWALL, TX 75087

CONFIDENTIAL  
113 GLENN AVE  
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S  
1203 WYNDEN CREEK DR  
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1404 RIDGE ROAD  
ROCKWALL, TX 75087

EFENEY WILLIAM M  
1406 S LAKESHORE DR  
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S  
1409 S ALAMO RD  
ROCKWALL, TX 75087

GEHRING CAROLYN S  
1745 LAKE BREEZE DR  
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D  
1748 BISON MEADOW LANE  
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST  
TINA TEMUNOVIC COX AND CVIJETA  
TEMUNOVIC TRUSTEES  
200 SUMMIT RIDGE  
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC  
2002 GREENHILL DRIVE  
ROWLETT, TX 75088

HUTTO JENNIFER L AND MICHAEL  
201 FOREST TRACE  
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO  
202 BOURN STREET  
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE  
202 GLENN AVE  
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP  
202 N SAN JACINTO ST  
ROCKWALL, TX 75087

MOTON R T  
203 E BOURN ST  
ROCKWALL, TX 75087

STOVALL RAYMOND P  
203 FOREST TRACE  
ROCKWALL, TX 75087

RIVERA JAIME & MARIA  
204 E BOURN ST  
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY  
204 GLENN AVE  
ROCKWALL, TX 75087

MIMS KATHY  
206 E BOURN ST  
ROCKWALL, TX 75087

HECKARD ALLEN  
207 BOURN  
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE  
208 E BOURN ST  
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC  
208 EMMA JANEST  
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST  
BARBARA J PFENNING TRUSTEE  
210 WILLOWCREEK RD  
CHICKASHA, OK 73018

RB CAPITAL LTD  
2322 HARTS BLUFF ROAD  
MT. PLEASANT, TX 75455

STOVALL RAYMOND P  
2404 DOVE CREEK DR  
LITTLE ELM, TX 75068

JONES MICHAEL G  
27 SHADY BROOK CIR  
ABILENE, TX 79605

QCSI FIVE LLC  
C/O IEQ MANAGEMENT INC  
300 DELAWAARE AVE SUITE 210  
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST  
TINA TEMUNOVIC COX AND CVIJETA  
TEMUNOVIC TRUSTEES  
3021 RIDGE RD SUITE A57  
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK  
313 STONEBRIDGE DR  
ROCKWALL, TX 75087

CG HOLDINGS LLC  
4 SUNSET TR  
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A  
4349 S PENINSULA DR  
PONCE INLET, FL 32127

HECKARD ALLEN  
4906 FREEMAN DR  
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL  
610 S GOLIAD ST  
ROCKWALL, TX 75087

MERRIMAN RICHARD CHARLES AND BARBARA  
710 S ALAMO RD  
ROCKWALL, TX 75087

SMITH MARY AND KEITH H  
711 FOREST TRACE  
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC  
7117 STEFANI DRIVE  
DALLAS, TX 75225

HILLMAN DORIANN E  
713 FOREST TRACE  
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P  
715 FOREST TRCE  
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH  
7903 FERGUSON RD  
DALLAS, TX 75228

ALLEN FRANKIE MAE  
80 THROCKMORTON  
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN  
801 S ALAMO ROAD  
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E  
801 S GOLIAD  
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL  
802 S GOLIAD  
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S  
803 S ALAMO RD  
ROCKWALL, TX 75087

DANIELS ANNIE L  
803 THROCKMORTON ST  
ROCKWALL, TX 75087

MERRIMAN R C ET UX  
804 S ALAMO  
ROCKWALL, TX 75087

MELSTON KENNETH J & KATHLEEN F  
805 S ALAMO RD  
ROCKWALL, TX 75087

ALLEN FRANKIE MAE  
805 THROCKMORTON  
ROCKWALL, TX 75087

CROSS WESLEY AND  
MISTY THOMPSON  
806 SAM HOUSTON ST  
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST  
SHARON K FRENCH TRUSTEE  
806 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD  
807 THROCKMORTON  
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S  
807SALAMO  
ROCKWALL, TX 75087

KELLY RYAN AND  
LACEY WALLACE  
808 S ALAMO ROAD  
ROCKWALL, TX 75087

JONES MICHAEL G  
808 SAM HOUSTON  
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP  
809 ALAMO  
ROCKWALL, TX 75087

LIVAY LLC  
809 S GOLIAD  
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE  
810 S ALAMO ROAD  
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE  
811 S ALAMO RD  
ROCKWALL, TX 75087

EDWARDS JASON  
811 S GOLIAD  
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D  
813 S ALAMO  
ROCKWALL, TX 75087

RAMSEY JUDY LYNN  
815 S ALAMO RD  
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA  
815 THROCKMORTON ST  
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E  
8306 LIGHTHOUSE DR  
ROWLETT, TX 75089

BRUNNER WILLIAM E & MARGIE L  
895 S ALAMO ROAD  
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER  
901 S ALAMO RD  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
901 S GOLIAD  
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN  
902 LAKE MEADOWS DR  
ROCKWALL, TX 75087

ANDREWS VIRGINIA  
902 S ALAMO  
ROCKWALL, TX 75087

COMPTON EARL D AND  
BETH C ROETHER  
903 S ALAMO  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
903 S GOLIAD  
ROCKWALL, TX 75087

PRESLEY ELIZABETH  
904 S ALAMO RD  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
905 S GOLIAD  
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO  
906 SAM HOUSTON  
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S  
906 S ALAMO  
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC  
906 S GOLIAD @ BOURN  
ROCKWALL, TX 75087

STATE OF TEXAS  
907 S GOLIAD  
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE  
908 S ALAMO RD  
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX  
9531 RIVERTON ROAD  
DALLAS, TX 75218

ROHLF DAVID E  
PO BOX 1137  
ROCKWALL, TX 75087

ANDREWS VIRGINIA  
PO BOX 254  
REPUBLIC, MO 65738

MILLER CHRISTINE LOUISE  
PO BOX 824  
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

*Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-035 restaurant at 906 S Goliad st

Please place a check mark on the appropriate line below: \*

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

### First Name \*

Chris

### Last Name \*

Knox

Address \*

109 Glenn ave

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Email Address \*

chrisknox@me.com

Phone Number

214-478-9802

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

## Gamez, Angelica

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**From:** Chuck Scroggs <cscroggs@canddcommercial.com>  
**Sent:** Monday, August 31, 2020 5:42 PM  
**To:** Planning  
**Subject:** Case No. Z2020-035

To- Rockwall Planning and Zoning

From- Charles Scroggs  
813 S. Alamo  
Rockwall Texas

Dear Mr. Ryan Miller:

I am very much opposed to granting a special use permit for the subject lot to be used as a Restaurant For the following reasons:

- 1] The land was never intended to be used as a restaurant. You have 8 Home owners that purchased and or built homes all the way up to \$450,000 dollars based on the cities zoning as a commercial office use.
- 2] A review of the Restaurants plans show that there are two entrances to the site proposed. One off of Goliad a state highway very congested with traffic and within 100 yards of a major intersection where cars are changing lanes to go down Ridge Road and down Hwy 205 . The second entrance is on the rear alley 20 feet from two residential houses . There will be a constant flow of lights into the homes.
- 3] There are families with children that play and walk in the alley behind these homes, cars exiting the property will be traveling the alley and therefore creating a risk of striking a child. Allies are not intended to be used forentrance or exit from a restaurant .
- 4] Residences normally purchase a home to enjoy their back yard without the noise of cars, restaurant patrons talking all hours of the night, the parking lot lights burning all of the night time hours, disturbing peace and sleeping of residents.
- 5] The light pollution is already a problem in a city and we do not need to add the bright lights and towering signage streaming into our homes.
- 6] Loitering is another risk that comes with a business of this type especially when home owners have a property backed up to a restaurant where people can see into the back yards where owners have valuables stored or see into the garages when the garage doors are up. This is inviting crime .

7] Trash and debris blowing from the restaurant onto the street , homeowners property and the church property.

8] This request to change the zoning or give a special use to is next door to the First Baptist Church of Rockwall's youth facility . This can potentially put our young children in contact with the wrong crowd of people. This is something that the Restaurant has no control over when it come to the clientele that visit the facility.

9] Property values will go down which is a major concern. Who will pay for the devaluation of the property, the city or the restaurant owners?

With all of this being said the City of Rockwall works for the citizens. As a tax payer I do not feel that granting this special use permit is in the best interest of the homeowners and tax payers. It is my request the the City Council deny the request.

Sincerely,

Charles Scroggs

---

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

## Gamez, Angelica

---

**From:** Dawn Scroggs <dawn@canddcommercial.com>  
**Sent:** Monday, August 31, 2020 4:36 PM  
**To:** Planning  
**Cc:** Dawn Scroggs; JLLAP@schwab  
**Subject:** Case No. Z2020-035

Attention: Ryan Miller

Homeowner 813 S. Alamo

In the above mentioned case for 906 S. Goliad Street I am very much opposed to this plan for reasons below:

- Traffic which is already a problem in this area.
- Light pollution
- Noise in a residential area
- Devaluation of our property
- Nuisance to the neighborhood
- Loitering in our alley
- Loitering on the church parking lot directly behind our home.
- Littering of streets, parking lot and alleys
- Right of neighbors to a peaceful and quiet place to reside
- Lack of privacy
- Trash and debris on our streets, yards and alleys
- Congestion on quiet streets due to forced traffic being routed for restaurant use.
- Interference of church parking which is adjacent to entrance.
- Inviting criminal activity due to restaurant being open into the late night hours of operation.

This is not a resident friendly business establishment and should not be permitted. The homeowners are established on all sides of this proposed site and want to remain in the peaceful and quiet neighborhood that it is. We do not need a drive through restaurant disrupting our way of life. This is the worst case scenario that a planning and zoning committee could propose. I cannot believe that this is even being considered for our quiet community in which I've lived since 1992.

This is outrageous.

Sincerely,



Dawn Scroggs

*Vice President*

**C & D Commercial Services**

p: 972.475.2271

a: 5030 Dexham Rd., Ste. 102, Rowlett, TX 75088

w: [canddservicesinc.com](http://canddservicesinc.com) e: [Dawn@canddcommercial.com](mailto:Dawn@canddcommercial.com)

**Sweeping | Striping | Pressure Washing | Concrete | and More**



**From:** [Justin Scroggs](#)  
**To:** [Planning](#)  
**Subject:** Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad street  
**Date:** Sunday, August 30, 2020 3:10:07 PM

---

## OPPOSED

Justin Scroggs  
1512 S Alamo Road  
Rockwall TX

We are opposed to the Taco Bell being proposed at the above address for the following reasons.

1. **DENSITY.** There is a taco bell located in Rockwall less than 2.3 miles from this location. There is another Taco Bell in Rowlett located 4.1 miles away. We don't need another Taco Bell as there are already other Taco Bells and countless other fast food restaurants within a 5 minute drive of this location.
2. **TRAFFIC.** The proposed located is right where 205 and Ridge Road splits. This is already a congested area with many cars in the right-hand lane preparing to split off and many more merging into this lane from the center lane. It will be extremely difficult to pull out into this traffic and to turn left into this traffic. This will result in: A. an increase in car accidents, injuries and potentially fatalities, B. an increase in traffic. and C. the traffic situation will cause drivers to use S. Alamo (a residential street) as a cut through street to access this location. They will either have drive back to Boydston and use the red light to pull back out onto 205 or drive down to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they put their drive through exit onto a residential street - backing right up to peoples back yards.
3. **RESIDENTIAL AREA.** The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant.
4. **LATE OPERATING HOURS.** Taco bell is known for it's late operating hours - and being the last stop after night of partying. The other Taco Bell (two miles away) is open until 2AM. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.
5. **INCREASE IN CRIME.** Fast food restaurants increase crime. Just see this article in Newsweek: "[How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals](#)". There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.
6. **WHO ARE WE SERVING?** Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?
7. **INCREASE IN TRASH.** Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind

will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses.

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant. Busy road, in a residential area in the heart of an established part of Rockwall. It seems very out of place when you consider where the rest of the fast food restaurants are located in Rockwall and where the vast majority of other Taco Bells are located in other parts of the DFW area. I don't see how an out of place fast food restaurant will make Rockwall a better place. It certainly will not make our neighborhood a better place.

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**From:** [LYNN RAMSEY](#)  
**To:** [Planning](#)  
**Subject:** Attn Ryan Miller  
**Date:** Friday, August 21, 2020 3:45:38 PM

---

Re: Item (6) Z2020-035

Mr. Miller:

I live at 815 South Alamo Road on the corner side street that this proposed restaurant is asking to be constructed. My neighbors and I would be negatively impacted by having a drive through restaurant on this corner. Before I built my home I was told by the city that the properties facing South Goliad were only allowed to build minimal traffic commercial activities such as law offices, insurance agencies, etc. Please let me and my neighbors know how and when to voice our opposition to this proposed change in zoning.

Thank you,

Lynn Ramsey  
940-224-5864  
lramseykjl@aol.com

Sent from my iPhone

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

1. TRAFFIC
2. LONG HOURS OF OP.
3. LIGHTING
4. TRASH DUMPSTER

Name: MIKE SHIELDS  
Address: 811 S. ALAMO RD.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

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- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

De-Value Homes in the area  
Aweful buffer property being that close to residential (Smell & trash  
Traffic

Name:

Ryan Kelly, Lucy Kelly

Address:

808 S Alamo Rd Rockwall Tx 75087

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**From:** [Scott and Michelle McNary](#)  
**To:** [Planning](#)  
**Subject:** Zoning Change  
**Date:** Friday, August 21, 2020 1:35:43 PM

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Good afternoon!

We just received the zoning change notice in our mail a few minutes ago. Given that we only have until Monday to make our opinions known I felt it would be better to email rather than mail back the notice.

We live at 113 Glenn Ave

We are 100% AGAINST this change. It would back up on two sides to homes with yards. While I understand the "need" for progress in our town, we just don't want it in our neighborhood.

We already have traffic issues going up and down South Alamo when people decide to cut through our neighborhood. People drive fast and don't stop at stop signs.

Adding a restaurant to the edge of our neighborhood would increase traffic not to mention bring in other unwanted pests like rats and mice. Please please please do not allow this to pass. We're already flanked with Goliad traffic and noise, please don't add to it.

We absolutely adore our neighborhood and have no plans on leaving but if ever we had to, I feel that placing a restaurant on the edge of our neighborhood would decrease the desirability of being in our neighborhood and thus affect the value of our home.

Thank you for taking the time to consider how the residents of this neighborhood feel about this situation. I also hope you will take into consideration the lack of time people have to respond to this public notice and don't interpret the lack of response as a reflection of disinterest or being in favor of this zoning change. Many of our residents are older/elderly and two different homeowners (one on Glenn and one on S Alamo) just passed away THIS week...obviously you won't be hearing from them.

I apologize for the lengthiness of this email - we're just really opposed to this zoning change.

Thank you for your time.

Scott and Michelle McNary  
113 Glenn Ave

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To: Ryan Miller  
Rockwall Planning and Zoning Dept.  
385 S. Goliad St.  
Rockwall, TX 75087

Ph: 972.771.7745  
Email: [planning@rockwall.com](mailto:planning@rockwall.com)

**Re:** *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

**1. DENSITY.** There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

**2. TRAFFIC.** The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

**3. RESIDENTIAL AREA.** The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

**4. LATE OPERATING HOURS.** Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

**5. INCREASE IN CRIME.** Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.

**6. WHO WILL THIS RESTAURANT SERVE?** Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?

**7. INCREASE IN TRASH.** Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

**8. LOWER PROPERTY VALUE.** Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

**9. DOES THIS ADD VALUE TO ROCKWALL?** This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Taco Bells in the DFW area. Every other Taco Bell in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

Concerned Resident

Signed: Charlotte Bristow

Name: Charlotte Bristow

Address: 908 S. Alam Rd.  
Rockwall, TX 75087

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Director of Planning & Zoning



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**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- property values will drop
- dangerous amount of traffic in an already dangerous V of traffic

Name: DELANIC SHIPMAN  
Address: 202 Glenn Ave

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Rockwall Planning and Zoning Dept.  
385 S. Goliad St.  
Rockwall, TX 75087

Ph: 972.771.7745  
Email: [planning@rockwall.com](mailto:planning@rockwall.com)

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Sincerely,

Concerned Resident

Signed:

*Elizabeth Presley*  
Name: ELIZABETH PRESLEY

Name:

*Delanie Shipman*  
Address: 904 S. Alamo Rd.  
Rockwall, TX 75087

Address:

Rockwall, TX 75087

*Delanie Shipman*  
214.236.8333

*My mother just passed away, and I own the home. There is already a dangerous amount of traffic here. Please do not make it worse by granting this for use by any fast food.*

## Gamez, Angelica

---

**From:** Jenna Scroggs <jenna.scroggs@yahoo.com>  
**Sent:** Friday, September 4, 2020 9:09 AM  
**To:** Planning; Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim  
**Subject:** Case No. Z2020-035  
**Attachments:** letter.pdf

I am opposed to Taco bell going in to this location. See letter attached.

Jenna Scroggs

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**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Alexandra Orman  
Address: 809 S. Goliad, Rockwall

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- I am opposed to the request for the reasons listed below.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Name: Isabella Duran  
Address: 803 S. Goliad, Rockwall

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## Gamez, Angelica

---

**From:** Millie Trevino <matrockwall@yahoo.com>  
**Sent:** Friday, September 4, 2020 2:04 PM  
**To:** Planning  
**Cc:** Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim  
**Subject:** Case No. Z2020-036: SUP for Restaurant at 906 S. Goliad Street  
**Attachments:** Z2020-035 SUP for Restaurant 906 S Goliad Street.pdf

Attached is my letter in opposition to rezoning and allowing a fast food restaurant at this location. To allow a restaurant to at this location would be have a detrimental effect on our neighborhood and be too close to homes and bring unwanted traffic and add chaos to the area which is already heavily congested due to the fact it is where the 205 and Ridge Road intersect...probably the worst intersection in Rockwall. We request the request for the special use permit be DENIED!!!!

Millie Trevino  
1004 S Alamo Rd  
Rockwall TX 75087

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PROPERTY VALUE DECREASED  
TRAFFIC IN NEIGHBORHOOD  
DUMPSTER OF FOOD ACROSS OUR ALLEY.  
NOISE, TRAFFIC, TRASH, SMELL OF GARBAGE @ OUR BACKDOOR  
Name: WILLIAM & MARGIE BRUNNER  
Address: 895 S. ALAMO Rd ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*Snuffies is already a issue without contributing to the problem. Not only the issue of Ridge Road, people will come over Church parking lot to Ross which is a hazard to begin with. We have a nice neighborhood, we don't want a fast place messing up our area!*

Name: *Ronnie and Barbara Watson*

Address: *801 S. Alamo*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

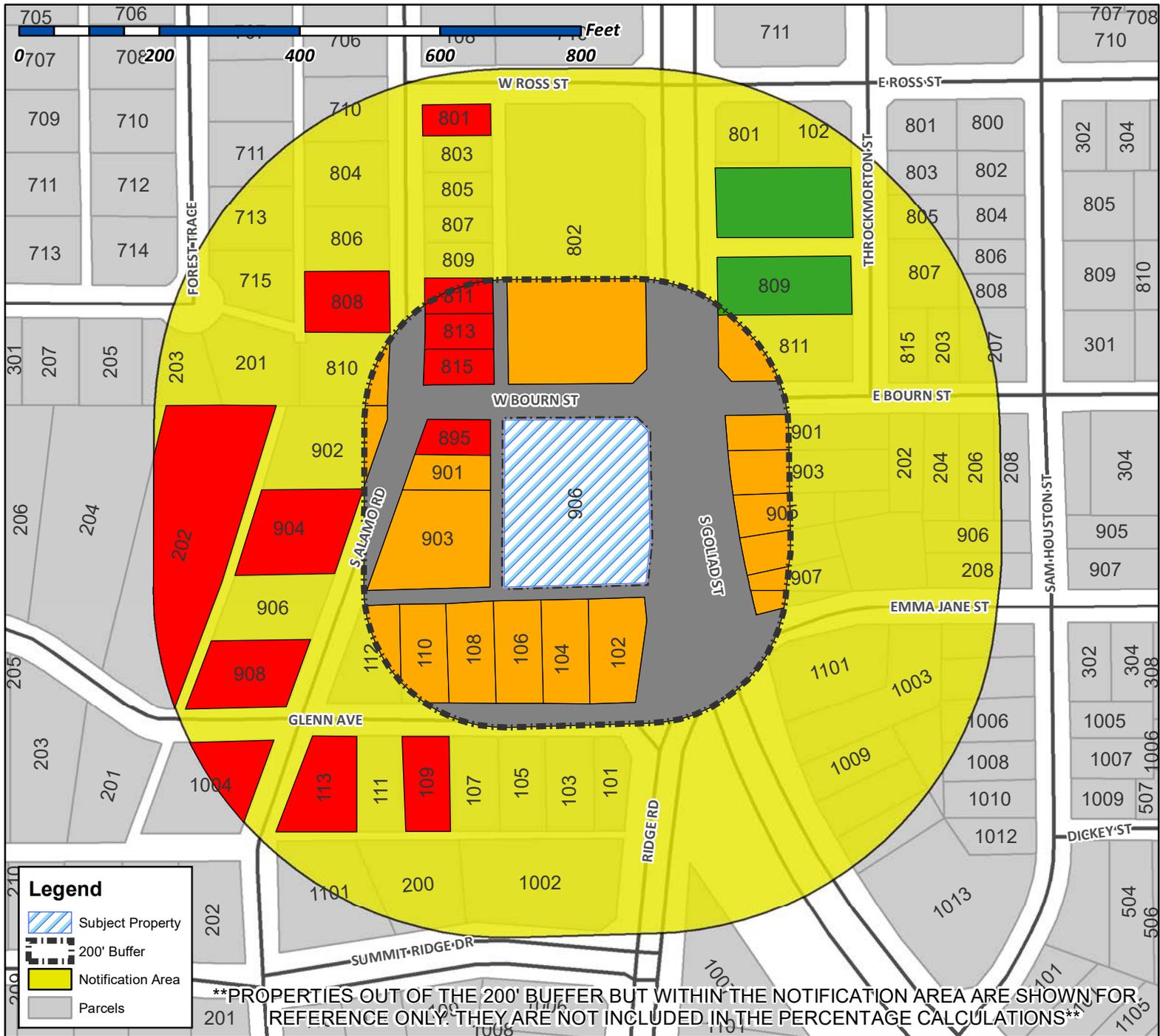
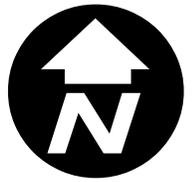
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

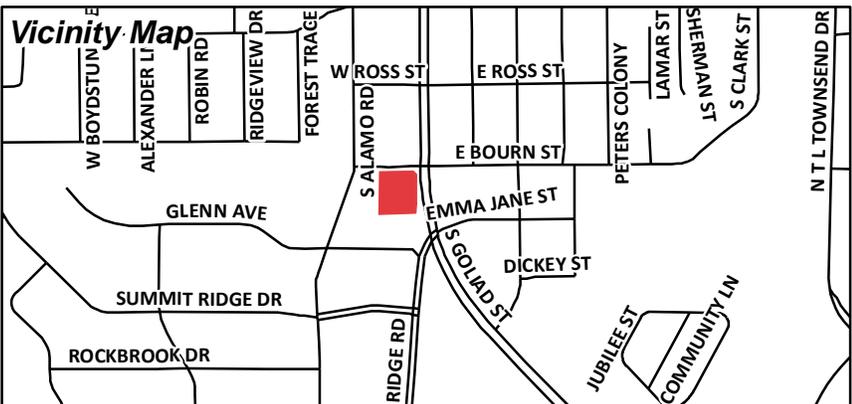
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2020-035 - SUP FOR 906 S. GOLIAD STREET

- Against 5.29%
- For 0.03%
- No Response 40.16%
- ROW 54.49%



**Date Created: 9/10/2020**

**For Questions on this Case Call (972) 771-7745**



**WIER & ASSOCIATES, INC.**  
ENGINEERS  
SURVEYORS  
LAND PLANNERS

August 14, 2020

City of Rockwall  
Planning & Zoning Dept.  
385 S. Goliad St  
Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT  
LOT 1, BLOCK B, JACK CANUP ADDITION  
W&A# 20075**

PRINCIPALS  
JOHN P. WIER, P.E., R.P.L.S.  
ULYS LANE III, P.E., R.P.L.S., CFM  
CARLO SILVESTRI, P.E.  
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES  
PHILIP L. GRAHAM, P.E.  
JAKE H. FEARS, P.E., LEED AP BD+C  
RANDALL S. EARDLEY, P.E.

ASSOCIATES  
TOBY W. RODGERS  
CASEY D. YORK  
PRIYA N. ACHARYA, P.E.  
TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

ETX Bell Properties, LLC intends to develop Lot 1, Block B of the Jack Canup Addition. The subject tract is a 1.131-acre parcel of land, currently zoned as PD-62, and situated within the J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas. Said property is generally located at the southwest corner of Goliad St (SH-205) and W. Bourn St and is currently addressed as 906 S. Goliad St.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 2,053-sf restaurant with drive-thru. This development requires a Specific Use Permit due to being a restaurant, more than 2,000-sf, with drive-thru facilities.

We appreciate your acceptance of our Specific Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this SUP. Please contact the developer, Toby Gowin with ETX Bell Properties, LLC, by phone at 903-589-1671 or via email at [tgowin@smi-tex.com](mailto:tgowin@smi-tex.com) or the developer's engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at [caseyo@wierassociates.com](mailto:caseyo@wierassociates.com) with any questions or comments.

Respectfully,

Casey Orr, P.E.  
Project Manager

2201 E. LAMAR BLVD., SUITE 200E  
ARLINGTON, TEXAS 76006-7440  
(817) 467-7700  
FAX (817) 467-7713

[WWW.WIERASSOCIATES.COM](http://WWW.WIERASSOCIATES.COM)

121 S. MAIN ST.  
HENDERSON, TEXAS 75654-3559  
(903) 722-9030  
TOLL FREE FAX (844) 325-0445



WIER & ASSOCIATES, INC.  
ENGINEERS  
SURVEYORS  
LAND PLANNERS

September 1, 2020

City of Rockwall  
Planning & Development Services  
385 S. Goliad Street Rockwall, TX 75087  
Attn: Angelica Gamez

PRINCIPALS  
JOHN P. WIER, P.E., R.P.L.S.  
ULYS LANE III, P.E., R.P.L.S., CFM  
CARLO SILVESTRI, P.E.  
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES  
PHILIP L. GRAHAM, P.E.  
JAKE H. FEARS, P.E., LEED AP BD+C  
RANDALL S. EARDLEY, P.E.

ASSOCIATES  
TOBY W. RODGERS  
CASEY D. YORK  
PRIYA ACHARYA, P.E.

RE: WA # 20075 – 906 S GOLIAD ST, ROCKWALL, TX 75087 (Z2020-035)

Dear City of Rockwall,

On behalf of the applicant, please find below a listing of requested waivers of the City of Rockwall Unified Development Code:

**Land Use Conditional Standards:** applicant is requesting a drive-thru for a restaurant, which is less than 2,000 sf. The proposed drive-thru will accommodate at least the required minimum 6 stacking spaces.

**Ingress/Egress Locations:** applicant is requesting a waiver from the required driveway spacing for the proposed driveway on Bourn St. In an effort to prevent traffic from accessing the site via the alley, a proposed curb cut is located 102' from the Goliad St face-of-curb.

A copy of the SUP site plan and supporting documents are included for reference. Should you have any questions or require additional information, please do not hesitate to contact us.

Respectfully,

Casey Orr, P.E.

2201 E. LAMAR BLVD., SUITE 200E  
ARLINGTON, TEXAS 76006-7440  
(817) 467-7700  
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

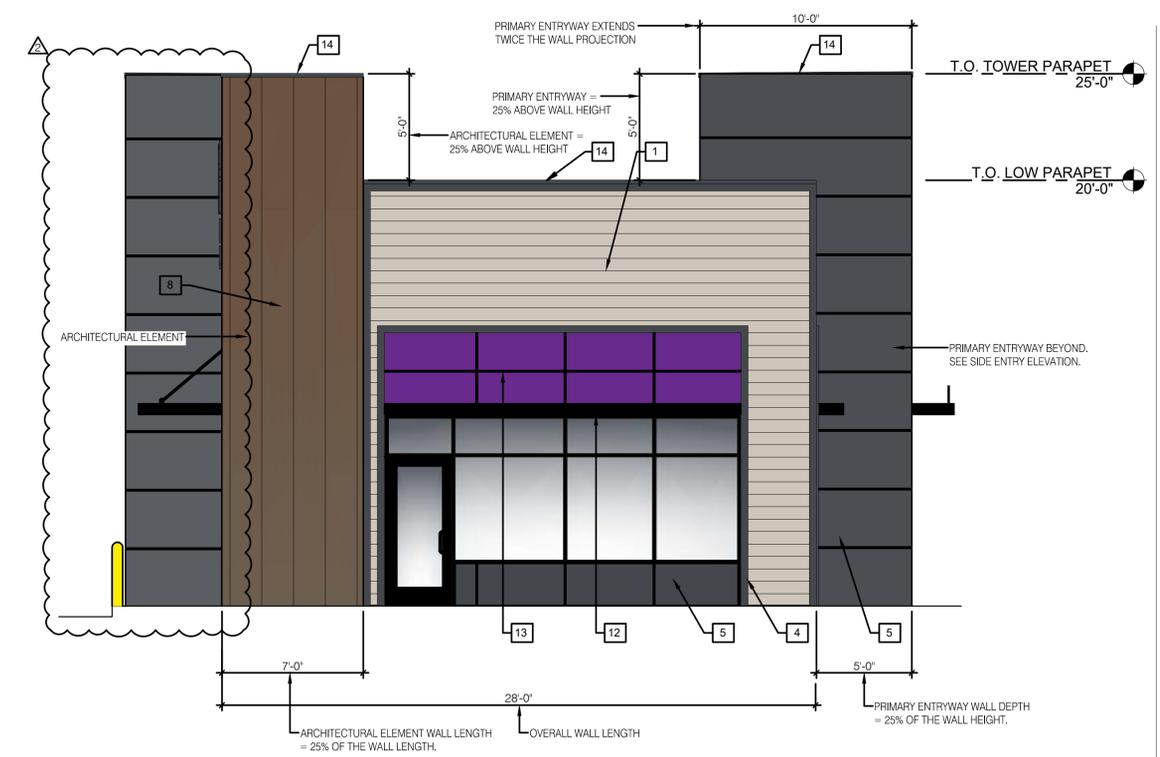
121 S. MAIN ST.  
HENDERSON, TEXAS 75654-3559  
(903) 722-9030  
TOLL FREE FAX (844) 325-0445



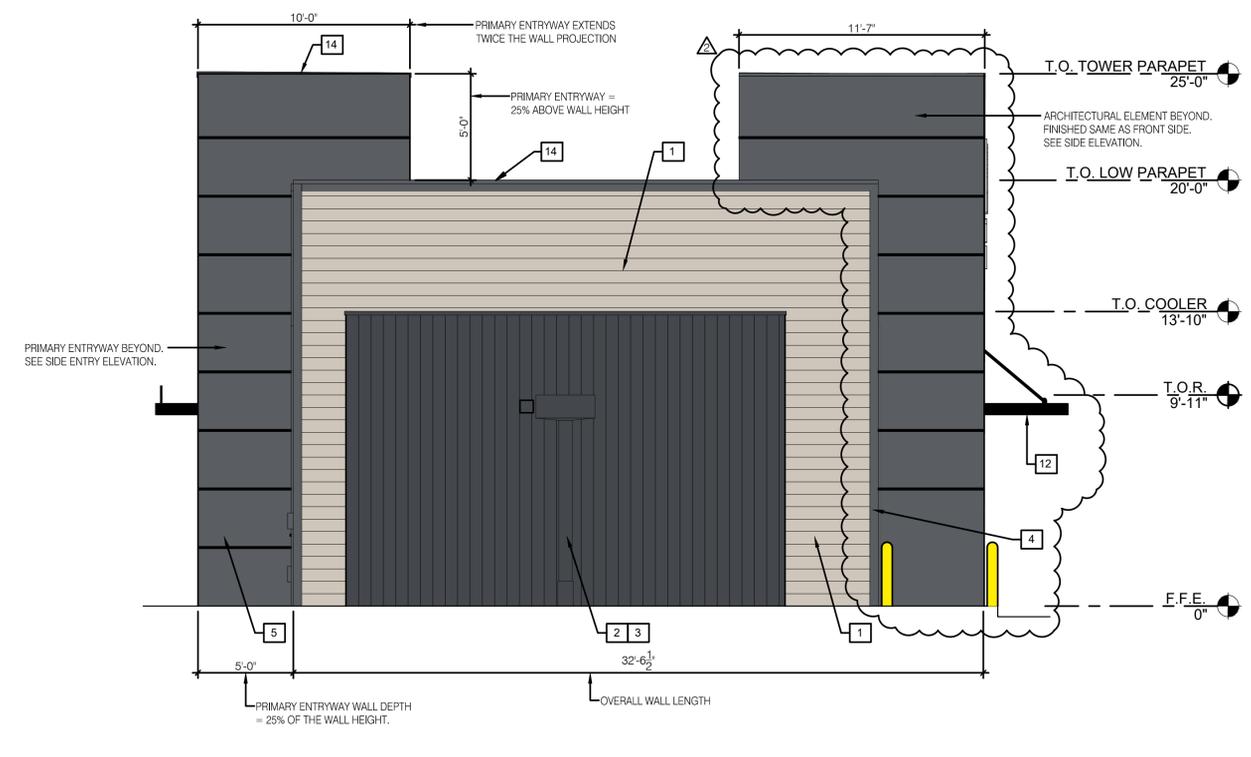


**REAR ELEVATION** 1/4" = 1'-0" **1**

**NOT USED** **A**



**FRONT ELEVATION** 1/4" = 1'-0" **2**



**REAR ELEVATION** 1/4" = 1'-0" **3**

**LONNIE SMITH**  
**ARCHITECT**  
 phone 858.624.3745  
 fax 858.624.3745  
 519 Hampton Way, Suite 8  
 Richmond, KY 40475

DATE	REMARKS
1 08-26-20	REV.
2 08-27-20	REV.

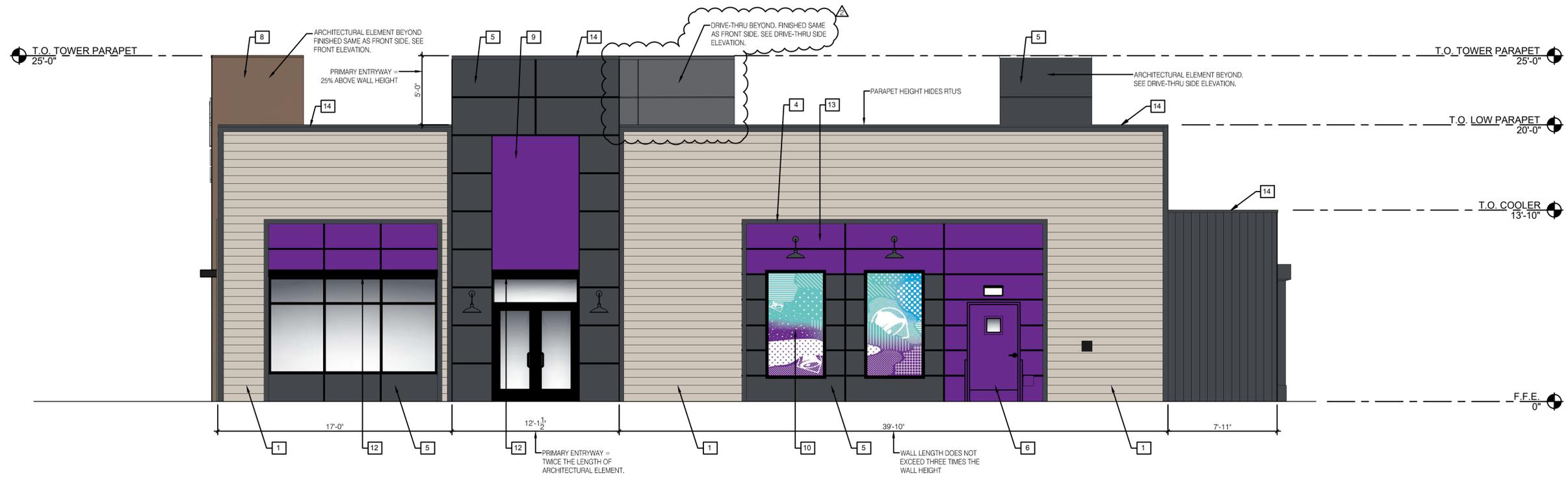
CONTRACT DATE: ###  
 BUILDING TYPE: END. MED40  
 PLAN VERSION: MARCH 2020  
 BRAND DESIGNER:  
 SITE NUMBER: ###  
 STORE NUMBER: ###  
 PA/PM: LS  
 DRAWN BY.: WCS  
 JOB NO.: 20756

**TACO BELL**  
 BOURN STREET  
 ROCKWALL, TX



**ENDEAVOR 1.0**  
**EXTERIOR**  
**ELEVATIONS**

**A4.1**



**FRONT ELEVATION** 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
<b>TOWER</b>			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
<b>SIDE ENTRY</b>			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
<b>DRIVE THRU</b>			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
<b>EYEBROW AWNINGS</b>			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6" H X 1' 4" D BLACK	A4.0

**MISCELLANEOUS**  
A. SEE SHEET A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.

**SEALERS (REFER TO SPECS)**  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

**CRITICAL DIMENSIONS**  
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

**PAINTING**  
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
PRIMER: 1 COAT SW A24W8300  
FINISH: 2 COATS SW A82-100 SERIES. MATCH COLORS FROM MATERIAL SCHEDULE.  
A-100 EXTERIOR LATEX SATIN.

**NOT USED** **I**

**SIGNAGE** **G**

**GENERAL NOTES** **F**

**PAINT NOTES** **E**

**NOT USED** **C**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 14 1/4" X 8.25" W. 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1 1/2" X 5'	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	-	-	SEE D / A 7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE STB2603C RUSTIC	-	-	SEE D / A 7.2
11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	-	-	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

**EXTERIOR FINISH SCHEDULE** **H**

**NOT USED** **D**

DATE	REMARKS
1 08-26-20	REV.
2 08-27-20	REV.

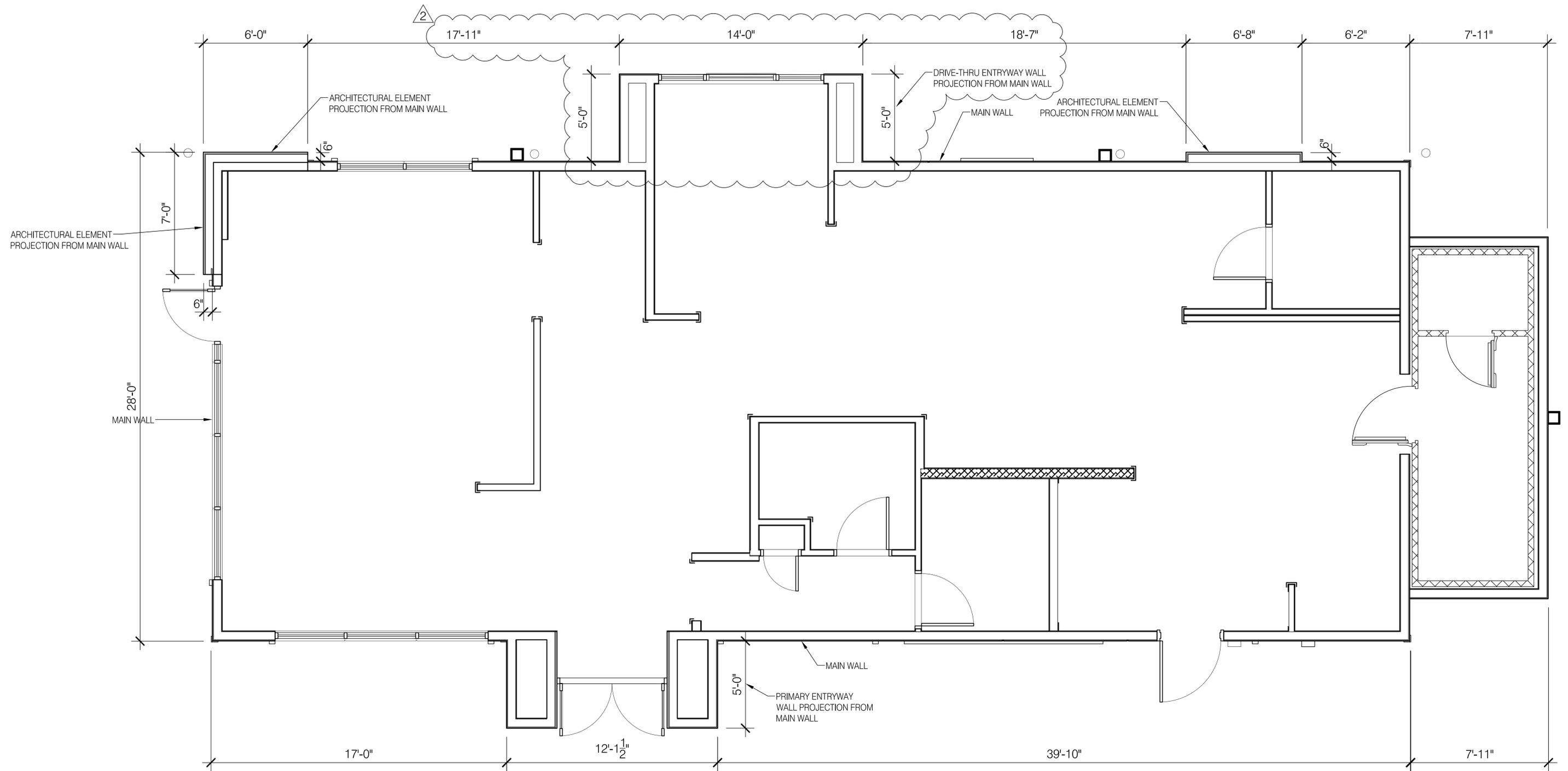
CONTRACT DATE: ###  
BUILDING TYPE: END. MED40  
PLAN VERSION: MARCH 2020  
BRAND DESIGNER:  
SITE NUMBER: ###  
STORE NUMBER: ###  
PA/PM: LS  
DRAWN BY.: WCS  
JOB NO.: 20756

**TACO BELL**  
BOURN STREET  
ROCKWALL, TX



**ENDEAVOR 1.0**  
**EXTERIOR**  
**ELEVATIONS**

**A4.0**



Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- ~~3) The hours of operation for the *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* shall be limited to Monday through Sunday 7:00 AM to 10:00 PM.~~
- 4) A minimum of an eight (8) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 5) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, 2,000 SF OR MORE, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [SH-205], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- 3) A minimum of a six (6) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 4) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF OCTOBER, 2020.**

---

Jim Pruitt, *Mayor*

**ATTEST:**

---

Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

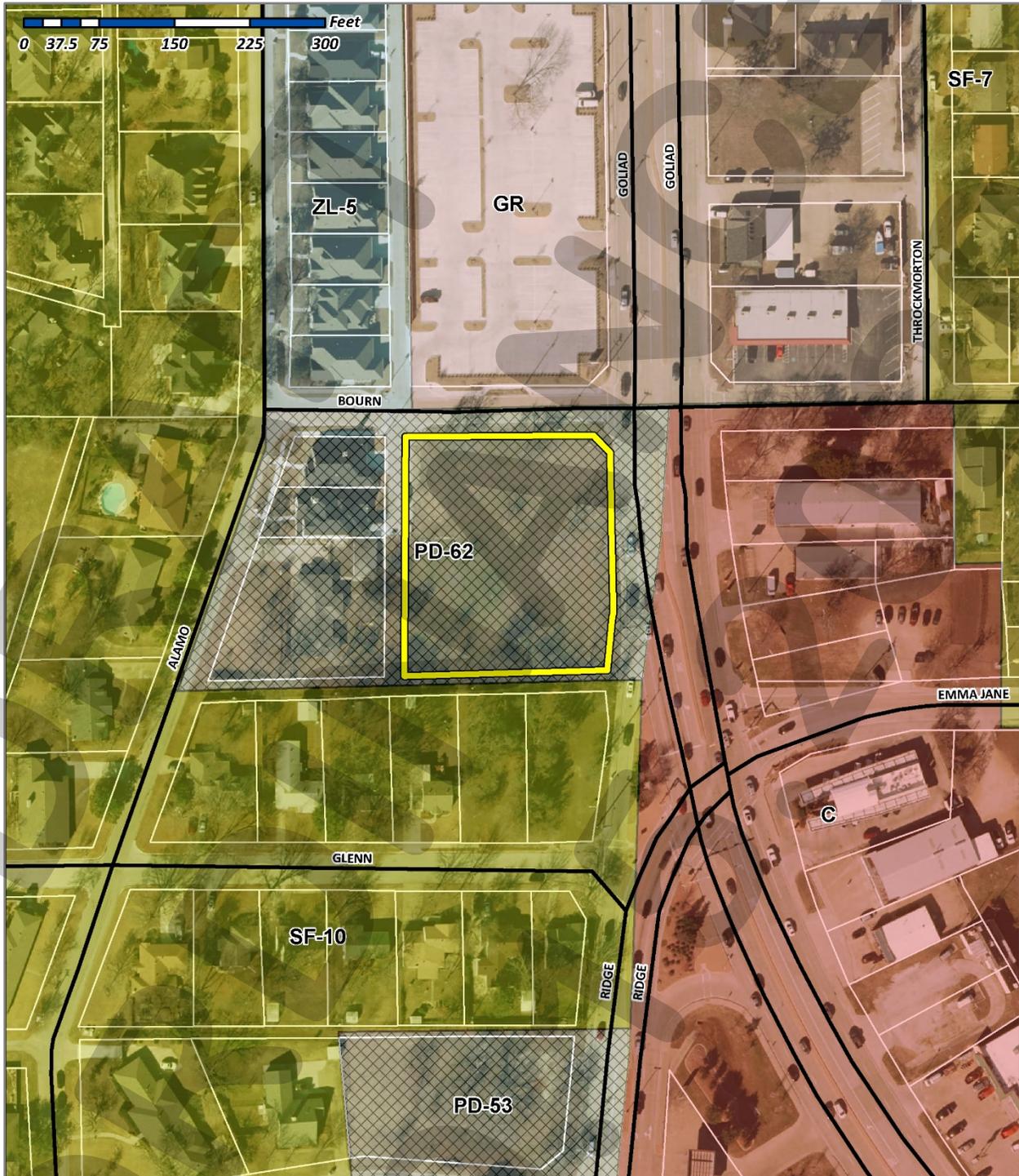
1<sup>st</sup> Reading: September 21, 2020

2<sup>nd</sup> Reading: October 5, 2020

**Exhibit 'A'**  
*Location Map*

Address: 902 & 906 S. Goliad Street

Legal Description: Lot 1, Block B, Jack Canup Addition



**Exhibit 'B':**  
**Concept Plan**

SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,256 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW) : 15' SIDE (ALONG RESIDENTIAL) : 20' REAR (ALONG RESIDENTIAL) : 20'
PARKING REQ'D	2,053 SF / 100 SF = 21
TOTAL PARKING PROVIDED	26
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

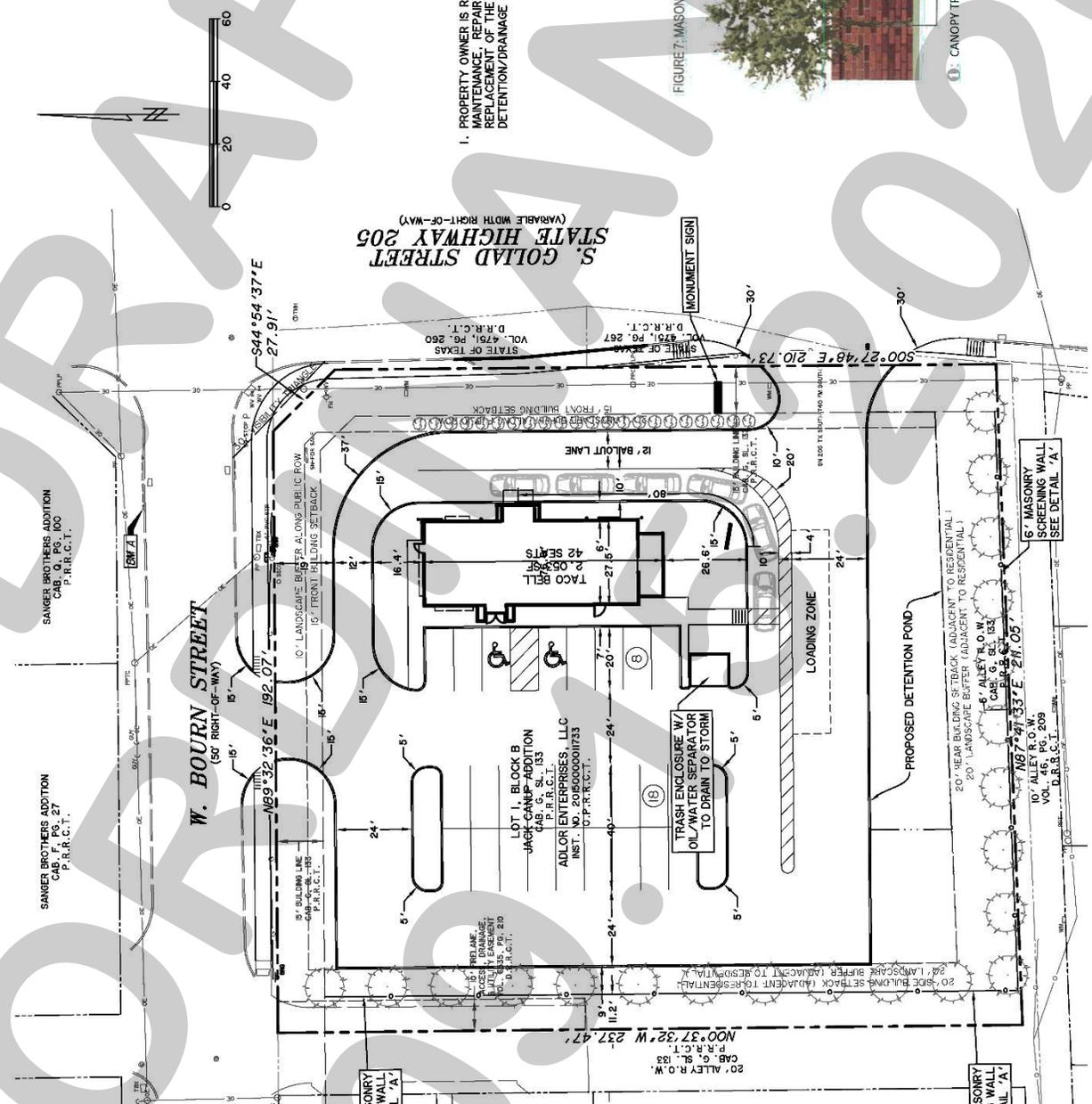
- GENERAL NOTES:
1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
  2. ALL PROPOSED CURB RADII ARE 3.0' F/C WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
  3. SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  4. ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

1. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS.

FIGURE 7. MASONRY FENCE WITH CANOPY TREES IN PERSPECTIVE VIEW



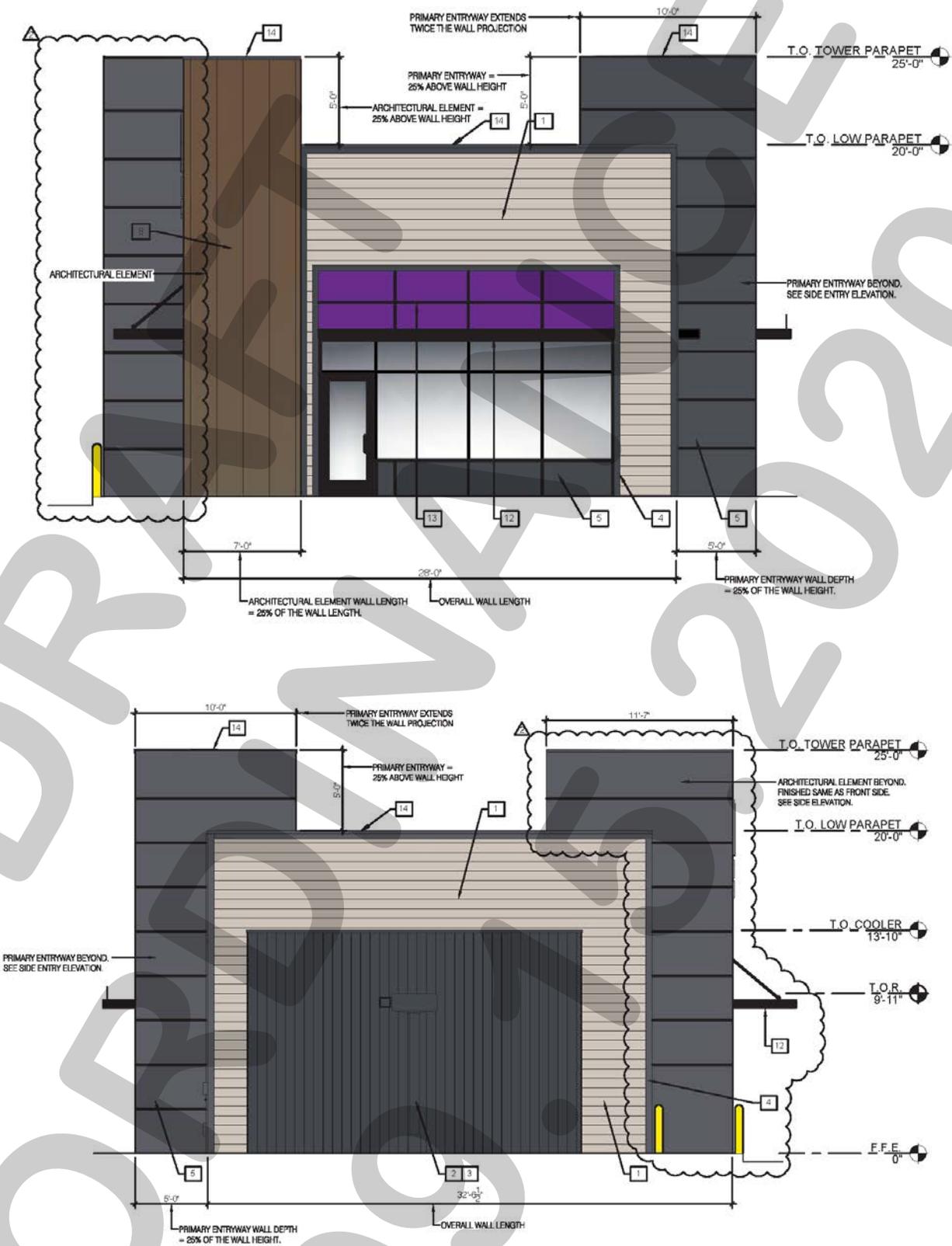
1. CANOPY TREES-20 FOOT ON CENTER  
 2. SIX (6) FOOT MASONRY WALL  
**DETAIL 'A'**  
 REFER TO ARCHITECT



**Exhibit 'C':**  
*Concept Building Elevations*



### Exhibit 'C': Concept Building Elevations





## CITY OF ROCKWALL

### PLANNING AND ZONING COMMISSION CASE MEMO

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 15, 2020  
**APPLICANT:** Nabiha Saeed, *Symonds Flags and Poles, Inc.*  
**CASE NUMBER:** Z2020-036; *Specific Use Permit for a Flag Pole at 1540 E. IH-30*

---

#### SUMMARY

Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

#### BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (*i.e. Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005) -- on June 18, 2012 --* allowing a *New Motor Vehicle Dealership* on property. The changes to the exterior of the building were approved under site plan *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (*i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (*i.e. 256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013 (*see attached packet for elevations of the existing signage*).

In 2017, the current owner purchased the property, and no additional changes have been made to the subject property since the completion of the remodel in 2013.

#### PURPOSE

The applicant -- *Nabiha Saeed* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height* in a Light Industrial (LI) District for the purpose of constructing a 120-foot flag pole in conjunction with an existing motor vehicle dealership.

## ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a new motor vehicle dealership (*i.e. Rockwall Honda*), which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership* (*i.e. S-189; Ordinance No. 18-22*). Beyond this are two (2) metal buildings (*i.e. Warehouse Pro and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the construction of a 120-foot flag pole on the subject property, which is currently occupied with an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The flag pole will be located adjacent to the western façade of the existing motor vehicle dealership building, next to the service porte-cochere. Staff estimates that the flag pole will be located ~137-feet from the northern property line adjacent to the IH-30 frontage road, and ~95-feet from the western property adjacent to Commerce Street.

## CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district." In this case, the subject property is zoned Light Industrial (LI) District, which according to Article 05, *District Development Standards*, of the Unified Development Code (UDC) the maximum height is 60-feet; however, this section also allows the building height to be increased to 120-feet if approved through a Specific Use Permit (SUP). As stated above, the applicant is requesting the maximum height of 120-feet. The proposed flag pole will meet all of the required setbacks stipulated by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

## STAFF ANALYSIS

Staff has reviewed all properties in the IH-30 corridor and determined that: [1] no other property has a flag pole that exceeds 60-feet in height, and [2] no Specific Use Permits (SUPs) have been approved allowing a structure to exceed 60-feet in height. Staff has also reviewed all other *New Motor Vehicle Dealerships* located in the IH-30 corridor and determined that all of these properties currently have flag poles that appear to be 60-feet in height conforming to the *by-right* height permitted by the

Unified Development Code (UDC). For the review of the Planning and Zoning Commission and City Council, staff has provided images of the flag poles in front of the *New Motor Vehicle Dealerships* in the IH-30 corridor. With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On August 15, 2020, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to for a Specific Use Permit (SUP) to allow *a structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a 120-foot flag pole, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of the draft ordinance.
  - (c) The proposed flag pole shall not exceed a maximum overall height of 120-feet as measured from grade.
  - (d) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-036

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

**Plotting Application Fees:**

Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>

Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>

Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>

Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>

Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>

PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

Tree Removal (\$75.00)

Variance Request (\$100.00)

**Notes:**

<sup>1</sup> In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre

## PROPERTY INFORMATION (PLEASE PRINT)

Address 1540 I-30 Rockwall, TX 75087

Subdivision \_\_\_\_\_ Lot 2 Block 1

General Location Clay Cooley Hyundai

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning Light Industrial

Current Use Auto Dealer / Service

Proposed Zoning N/A

Proposed Use Installing 120' Flagpole with 40x60 US Flag

Acreage 4.390 Lots (Current) 2

Lots (Proposed) \_\_\_\_\_

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB1167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

Owner Clay E. Cooley  
Contact Person Mary Pinedo  
Address 1251 E. Airport Fwy.

Applicant Symonds Flags & Poles, Inc  
Contact Person Nabaha "Bea" Saeed  
Address 7503 Flagstone Dr.  
Bldg. #30  
City, State & Zip Fort Worth, TX 76118  
Phone 817-596-1900 ext. 104  
E-Mail Bea@symondsflags.us

City, State & Zip Irving TX 75062

City, State & Zip \_\_\_\_\_

Phone (972) 573-7607

Phone \_\_\_\_\_

E-Mail mpinedo@comeseeclay.com

E-Mail \_\_\_\_\_

## NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared Clay Cooley [Owner] the undersigned, who stated the information on this application to be true and certified the following:

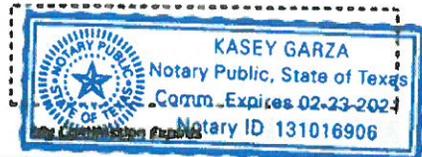
"I hereby certify that I am the owner for the purpose of this application, all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9 day of June, 20 20

Owner's Signature

Notary Public in and for the State of Texas

Kasey Garza

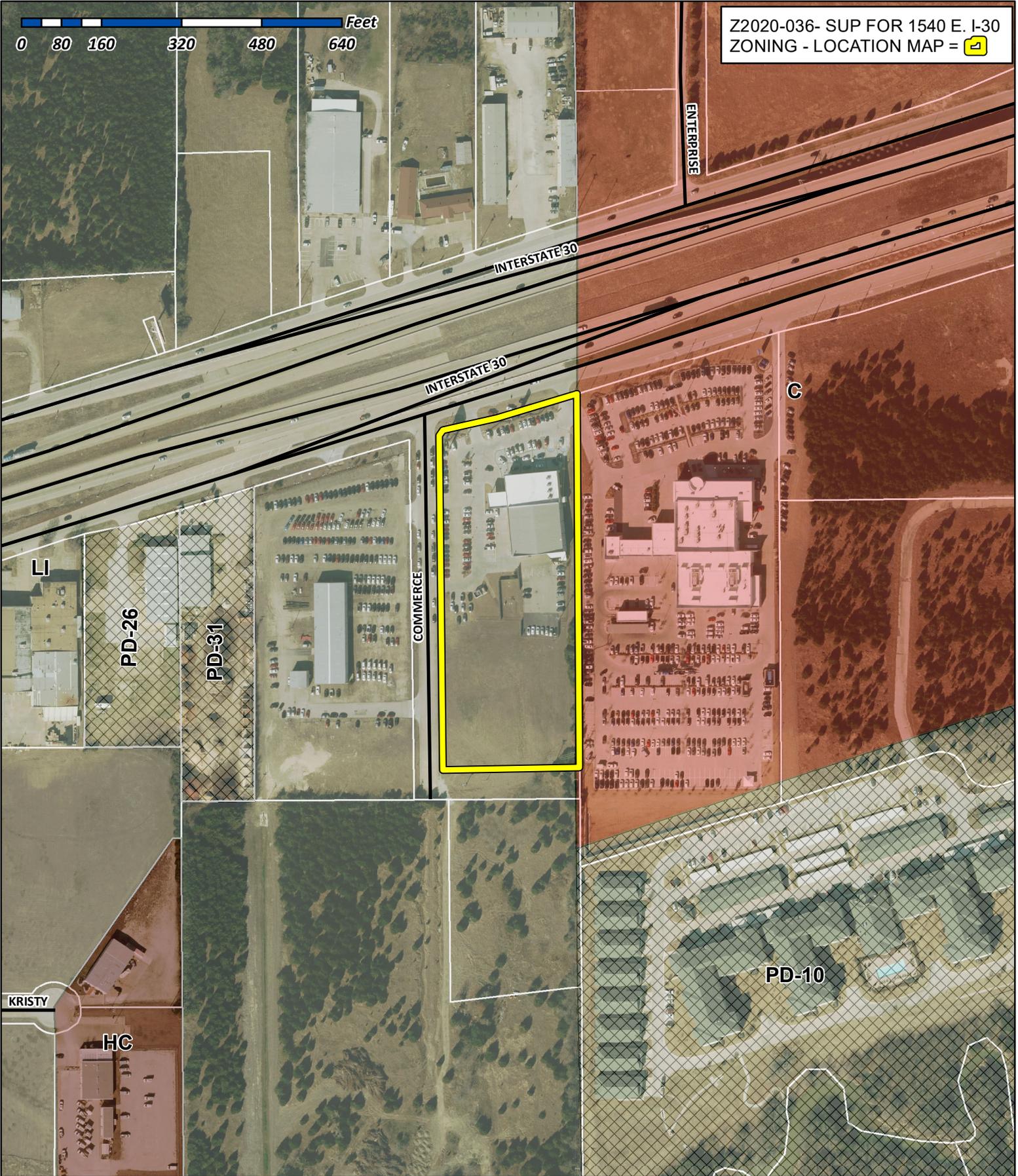


DEVELOPMENT APPLICATION

2-23-2021

0 80 160 320 480 640 Feet

Z2020-036- SUP FOR 1540 E. I-30  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

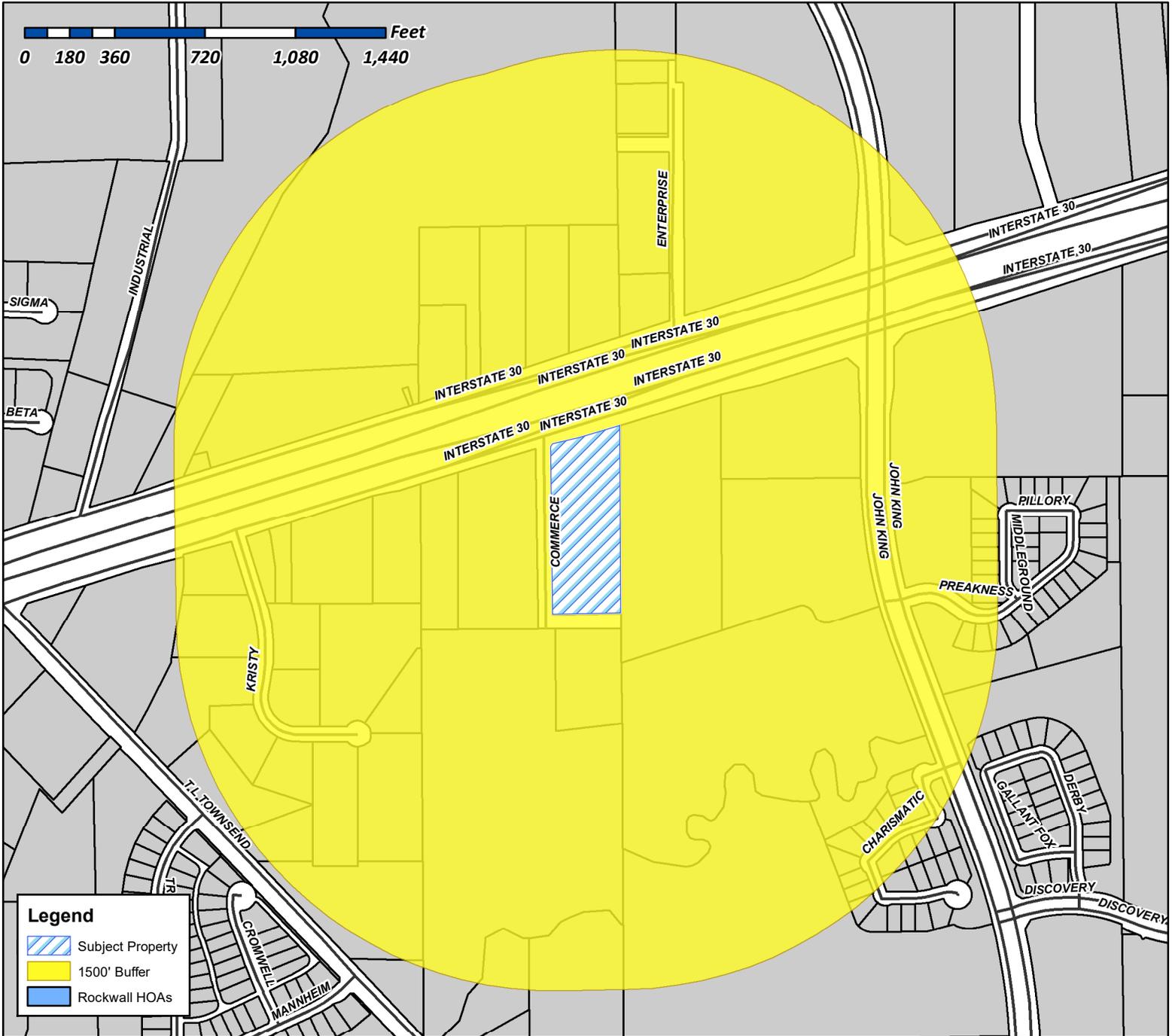




# City of Rockwall

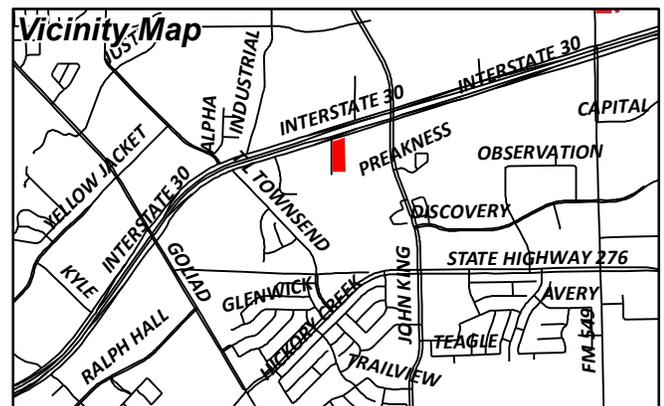
Planning & Zoning Department  
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**Case Number:** Z2020-036  
**Case Name:** SUP for 1540 E. I-30  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 E. I-30

**Date Created:** 8/14/2020  
**For Questions on this Case Call** (972) 771-7745

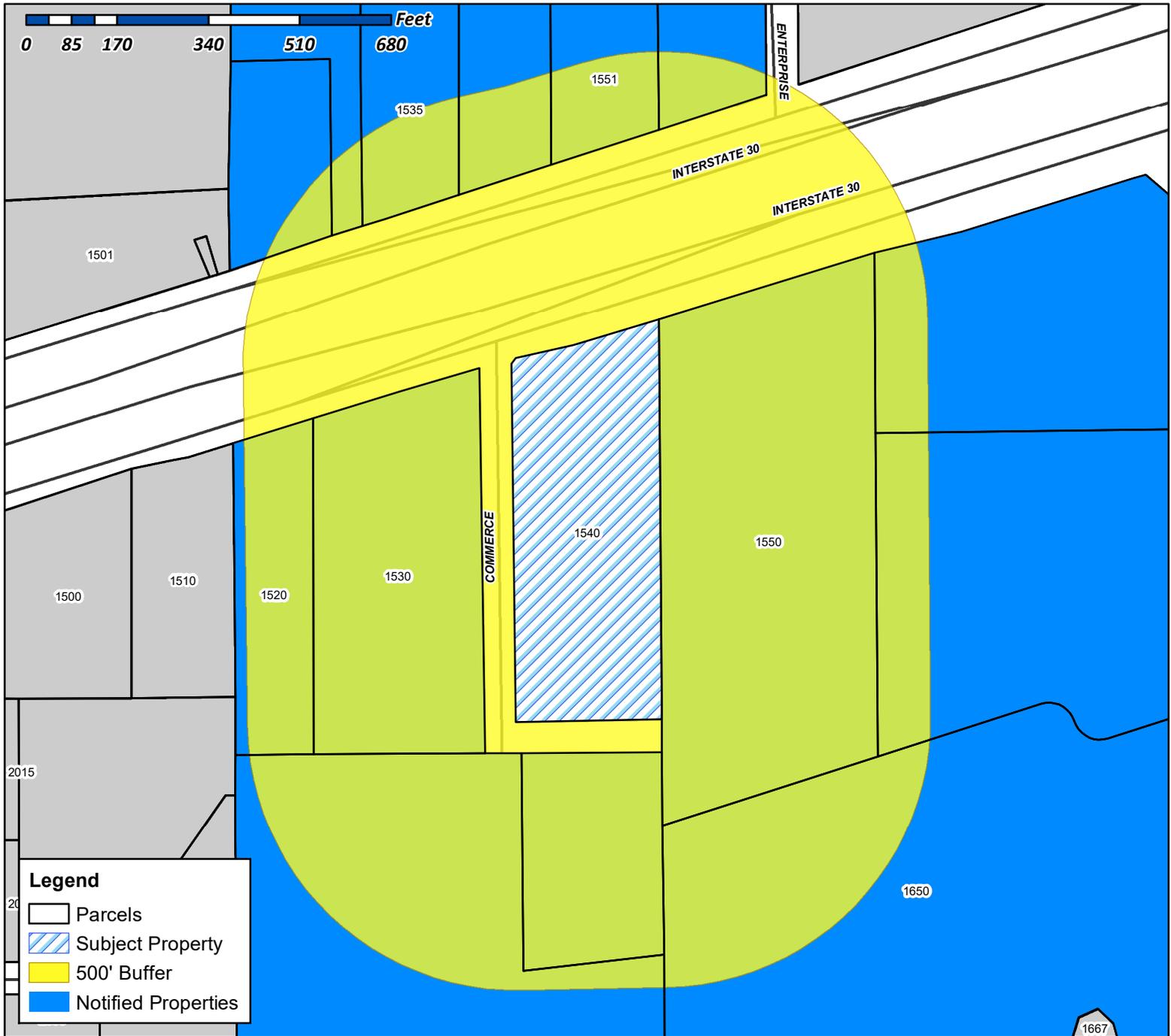
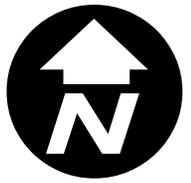




# City of Rockwall

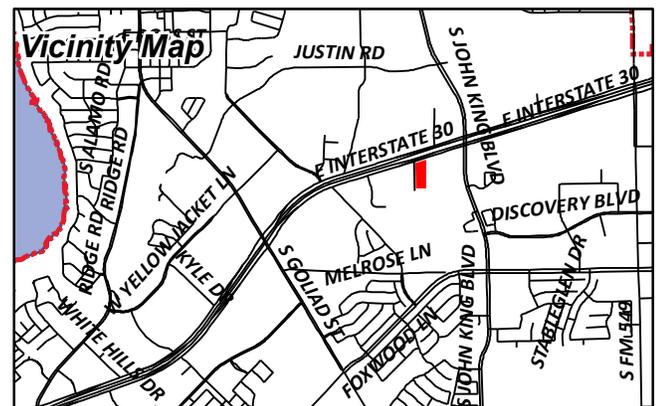
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 For Questions on this Case Call (972) 771-7745



ROCKWALL CREDIT SERVICES LC  
1520 E I30  
ROCKWALL, TX 75032

1540 EAST IH 30 ROCKWALL LLC  
1530 S I30  
ROCKWALL, TX 75032

ZBH/1535 E INTERSTATE 30 LTD  
1535 I30  
ROCKWALL, TX 75032

1540 EAST IH 30 ROCKWALL LLC  
1540 EAST IH 30  
ROCKWALL, TX 75087

REALTY HOLDINGS OF ROCKWALL LLC  
1550 E I30  
ROCKWALL, TX 75032

AM ROCKWALL INVESTMENTS LP  
A TEXAS LTD PARTNERSHIP  
1551 E INTERSTATE 30 STE A  
ROCKWALL, TX 75087

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
1650 S JOHN KING  
ROCKWALL, TX 75032

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
18100 VON KARMAN SUITE 500  
IRVINE, CA 92612

REALTY HOLDINGS OF ROCKWALL LLC  
1925 CEDAR SPRINGS ROAD SUITE 204  
DALLAS, TX 75201

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

DYNACAP HOLDINGS LTD &  
CHARLES SMITH  
709 W RUSK ST STE B  
ROCKWALL, TX 75087

CAMBRIDGE COMPANIES  
C/O WEBB RHOADES  
8750 N CENTRAL EXPY SUITE 1735  
DALLAS, TX 75231

ZBH/1535 E INTERSTATE 30 LTD  
9669 JOURDAN WAY  
DALLAS, TX 75230

ROCKWALL CREDIT SERVICES LC  
PO BOX 1870  
ROCKWALL, TX 75087

ROCKWALL RENTAL PROPERTIES LP  
PO BOX 818  
TERRELL, TX 75160

COLLIN G PROPERTIES LTD  
PO BOX 847  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-036: SUP for Flag Pole at 1540 E. IH-30**

*Hold a public hearing to discuss and consider a request by Nabihha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a structure that exceeds 60-feet in height in a Light Industrial (LI) District for the purpose of constructing a flag pole on an existing motor vehicle dealership (i.e. Clay Cooley Hyundai) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2020-036: SUP for Flag Pole at 1540 E. IH-30**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-036: SUP for Flag Pole at 1540 E. IH-30**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Great Addition to the Area

LOVE to see AMERICAN FLAGS FLYING

Name: Raymond Jolley Pres Rockwall Credit Services LLC  
Address: 1520 & 1510 EAST I-30

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Symonds Flags & Poles, Inc.  
7503 Flagstone Dr. Bldg. 30  
Fort Worth, TX 76118  
Tel 214-596-1900 Fax 817-590-8019  
www.symondsflags.us



The flagpole does not violate, the intent of Chapter 7, and it will be professionally designed and installed solely for the purpose of displaying <sup>US</sup> both the US ~~and TX~~ <sup>TX</sup> Flags. It is actually, in the guidelines of Chapter 7.

It will not affect in any way the surrounding properties, or the safety of the public. The flagpoles will create great feelings of Patriotism and the love of our great country and state.

There will be no adverse impact.

All of us who drive by on Hwy 30 will marvel at the City of Rockwall's Love of our Country.

If the variance is not granted we will not be able to adequately demonstrate our great Patriotism and love of our Country and State to the people of Rockwall and all who travel through it.

It will actually compliment the looks of the city.

Thank you,

Nabiha Saeed

EXHIBIT A

Description of the Property

TRACT I

BEING a 4.922-acre tract of land situated in the N. M. BALLARD Survey, Abstract No. 24, and in the A. HANNA Survey, Abstract No. 99, in the City of Rockwall, Rockwall County, Texas, and being part of a 48.033-acre tract of land described in the deed from Eva E. Tadlock, a widow, and C. W. Tadlock to Max Scheid, Trustee, dated 18th day of July, 1972, and recorded in Volume 103, at Page 791 of the Deed Records of Rockwall County, Texas, and being the remainder of that certain 5-acre tract of land described in the deed from Max Scheid, Trustee to Gaston and Gaston Auctioneers, Inc. dated the 10th day of October 1978, and recorded in Volume 137, at Page 832 of the said Deed Records of Rockwall County, Texas, said tract being more particularly described as follows:

BEGINNING at a 3-inch aluminum TxDOT monument found in place on the Westerly line of the above mentioned 48.033-acre tract at its intersection with the Southerly right-of-way line of Interstate Highway 30, said 3-inch aluminum TxDOT monument marking the most Southerly Southwest corner of a 3,450 square-foot tract of land described in the deed from Marty K. Salley, et vir Oscar Salley, to the State of Texas, dated the 16th day of January, 2010, and recorded in County Clerk's Document No. 2010 00430987 (Volume 6069, at Page 254) of the said Deed Records of Rockwall County, Texas, and having coordinates based on the Texas Coordinate System of 1983, North Central Zone of:

X = 2,601,110.56 U. S. Survey Feet

Y = 7,021,781.94 U. S. Survey Feet

(Reported as North 7,022,808.07, East 2,601,490.67 based on the TxDOT conversion factor of 1.000146135 in the cited deed to the State of Texas)

THENCE with the Southeasterly right-of-way line of Interstate Highway No. 30 and the Southeasterly line of the above mentioned 3,450-square-foot State of Texas tract the following two courses and distances:

1. N 72 degrees 46 minutes 00 seconds E 308.48 feet

~~2. S 65 degrees 17 minutes 09 seconds E 23.86 feet to a 3-inch aluminum TxDOT monument found in place on the Westerly right-of-way line of Commerce Street (a 60-foot right-of-way) according to the Mat thereof recorded in Cabinet B on Slide 323 of the Map and Plat Records of Rockwall County, Texas, and being in the Westerly line of a 5-acre tract described in the deed from Max Scheid, Trustee to Rockwall Church of Christ, dated the 15th day of December, 1977, and recorded in Volume 131, at Page 405 of the said Deed Records of Rockwall County, Texas;~~

THENCE S 00 degrees 40 minutes 20 seconds E with the Westerly right-of-way line of Commerce Street at a distance of 622.43 feet pass a 5/8-inch steel rod found (called to be the Southwest corner of the last mentioned 5-acre tract but fails to satisfy the called distance for the Westerly line of that tract) and continuing on the same course for an additional distance of 84.93 feet for a total distance of 707.36 feet to a 3/8-inch steel rod found;

THENCE S 89 degrees 22 minutes 30 seconds W for a distance of 317.00 feet to a 3/8-inch steel rod found;

THENCE N 00 degrees 41 minutes 38 seconds W for a distance of 629.40 feet to the PLACE OF BEGINNING and containing 4.922 acres of land.

**TRACT II**

BEING a 21.684-acre portion of a called 22.303-acre tract of land described in the deed from Thomas E. Haack to Thomas Real Estate, L.P. dated November 12, 1998, and recorded in Volume 1507, at Page 203 of the Deed Records of Rockwall County, Texas (DRRCT) and being situated in the N.M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, and also being part of a called 25.281-acre tract of land described in the deed from Haldeman, Inc. to Buddy R. Haldeman dated the 20th day of March, 1984, and recorded in Volume 193, at Page 406 DRRCT and being more particularly described as follows:

BEGINNING at a 1/2-inch steel rod found at the intersection of the northeasterly right-of-way line of High School Drive (a variable width right-of-way commonly known as T.L. Townsend Drive) with the easterly line of Bodin Industrial Tract according to the plat thereof recorded in Cabinet A, on Slide 347 of the DRRCT said 1/2-inch steel rod also marking the most southerly or southeasterly corner of a 1-acre lot, tract or parcel described in the deed from James Valk et ux to James Valk, Sr. et al dated the 23rd day of March, 2010, and recorded in Volume 6070, at Page 268 DRRCT, and having coordinates of:

X. 2,600,974.41 U. S. Survey Feet

Y. 7,019,534.15 U. S. Survey Feet;

THENCE:

N 00°21'13" W with the westerly line of the 22.303-acre tract and with easterly line of the last mentioned Bodin Industrial Tract at a distance of 304.86 feet pass 1/2-inch steel rod found  
And continuing on the same course and with the common line between the 22.303-acre tract and Bodin Industrial Tract at an additional distance of 376.39 feet pass one foot west of a 1/2-inch steel rod found

And continuing on the same course and with the common line between the 22.303-acre tract and Bodin Industrial Tract at an additional distance of 863.78 feet pass a 3/8-inch steel rod found marking the northeasterly corner of a 1-acre tract or parcel of land described in the deed from John W. McDaniel et ux to IRT Construction, Inc., dated December 31, 1997, and recorded in Volume 1314, at Page 250 of the DRRCT

And continuing on the same course and with the common line between the 22.303-acre tract and Bodin Industrial Tract at an additional distance of 71.85 feet for a total distance of 1,616.88 feet (called: 1,625.74 feet) to a 1/2-inch steel rod found for the southwest corner of a 2.16-acre tract of land described in the deed from Gibola Properties, Llc to Rockwall Credit Services, L.C. dated September 30, 2005, and recorded in Volume 4314, at Page 34 DRRCT;

THENCE N 89°22'30" E with the northerly line of the 22.303-acre tract and the southerly line of the last mentioned 2.16-acre Rockwall Credit Services tract at a distance of 153.71 feet pass a 3/8-inch steel rod marking the southeast corner of said 2.16-acre tract the same being the southwest corner of a 4.922-acre tract described in the deed from Marty K. Salley et vir to Gordon Rockwall Investments, LLC dated 2nd day of October, 2012, and recorded in Volume 6939, at Page 100 DRRCT and continuing on the same course with the northerly line of the 22.303-acre tract and the southerly line of the last mentioned 4.922-acre tract an additional distance of 317.00 feet for a total distance of 470.71 feet to a 3/8-inch steel rod found marking the southeast corner of said 4.922-acre tract;

THENCE N 68°46'16" E with the northerly line of the 22.303-acre tract for a distance of 63.21 feet to a 1/2-inch steel rod found in the westerly boundary line of Rockwall Recreation Addition according to the plat thereof recorded in Cabinet F, on Slide 379 DRRCT;

THENCE S 00°35'03" E with the westerly boundary line of said Rockwall Recreation Addition for a distance of 433.41 feet to a 5/8-inch steel rod found for the southwest corner of said addition;

THENCE N 89°28'30" E with a northerly line of the 22.303-acre tract and departing the Rockwall Recreation Addition for a distance of 261.25 feet to a 5/8-inch steel rod for its most easterly northeast corner from which a 1/2-inch steel rod marking the southeast corner of said Rockwall Recreation Addition bears N 01°02'39" W a distance of 24.60 feet;

**TRACT III**

Being a part of Lot 1, Block 1, of ROCKWALL RECREATIONAL ADDITION, an Addition to the City of Rockwall County, Texas, according to the Plat thereof recorded in Cabinet F, Slide 379, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

**BEGINNING** at a 1" iron pipe found for corner in the southeast right-of-way line of Interstate Highway 36, at the northeast corner of said Lot 1, Block 1;

**THENCE S. 00 deg. 20 min. 22 sec. E.** along the east line of said street, a distance of 212.96 feet to a 3/8" iron rod found for corner;

**THENCE S. 01 deg. 26 min. 34 sec. W.** along the east line of said Lot 1, Block 1, a distance of 452.24 feet to a 5/8" iron rod found for corner;

**THENCE S. 00 deg. 02 min. 16 sec. W.** along the east line of said Lot 1, Block 1, a distance of 83.77 feet to a 1/2" iron rod found for corner at the southeast corner of same, and being in the north line of a 60 foot street dedication per plat;

**THENCE S. 89 deg. 52 min. 00 sec. W.** along the north line of said street dedication, a distance of 262.48 feet to a 1/2" iron rod found for corner at the southwest corner of said Lot 1, Block 1, and being in the east right-of-way line of Commerce Street per plat in Cab. B, Slide 323;

**THENCE N. 00 deg. 08 min. 00 sec. W.** along said right-of-way line, a distance of 667.32 feet to an "X" chiseled in concrete for corner in the southeast right-of-way line of Interstate Highway 30 per Volume 6090, Page 116 of the Official Public Records of Rockwall County, Texas;

**THENCE N. 37 deg. 19 min. 40 sec. E.** along said right-of-way line, a distance of 12.87 feet to a point for corner;

**THENCE N. 77 deg. 30 min. 28 sec. E.** along said right-of-way line, a distance of 108.87 feet to a 1/2" iron rod found for corner;

**THENCE N. 73 deg. 15 min. 39 sec. E.** along said right-of-way line, a distance of 167.20 feet to the **POINT OF BEGINNING** and containing 191,336 square feet or 4.39 acres of land.

**TRACT IV**

Being Lot 1, Block 2 of ROCKWALL RECREATIONAL ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet F, Slide 379, of the Plat Records of Rockwall County, Texas.

THENCE S 00°31'33"E with the easterly line of said 22.303-acre tract at a distance of 389.26 feet pass 7.5 feet west of a Flood Plain Monument called on Sheet 2 of 6 of the plat of the Mansions Senior Addition according to the plat thereof recorded in Cabinet G, on Slide 389-394 DRRCT and continue on the same course and with the easterly line of said 22.303-acre tract for an additional distance of 378.14 feet for a total distance of 767.40 feet to a point on the platted northerly line of Lot 1, Block 1 Houser Addition according to the plat thereof recorded in Cabinet B, at Slide 174 of the Map Records of Rockwall County, Texas, and being N 73°16'24"W a distance of 8.07 feet from the northeast corner of said Lot 1;

THENCE generally along the high bank of Buffalo Creek the following six (6) courses and distances:

N 41°18'30" W a distance of 74.72 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 86°07'24" W a distance of 102.81 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 69°01'44" W a distance of 61.40 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 62°32'37" W a distance of 38.24 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 41°12'23" W a distance of 70.66 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 80°55'55" W a distance of 79.86 feet to the northwest corner of said Lot 1, Block 1 Houser Addition, from which a 1/2-inch steel rod found bears S 00°13'03" E a distance of 40.51 feet and a 5/8-inch steel rod set in the thread of Buffalo Creek with an orange plastic cap stamped "R-DELTA ENGINEERS" bears N 20°W a distance of 0.45 feet;

THENCE with the thread of said Buffalo Creek the following eight (8) courses and distances:

S 74°05'53" W a distance of 31.97 feet;

N 34°02'33" W a distance of 39.97 feet;

~~S 73°38'14" W a distance of 97.75 feet;~~

S 02°51'37" W a distance of 93.25 feet;

S 16°31'48" E a distance of 69.66 feet;

S 24°26'02" W a distance of 76.47 feet;

S 38°41'24" W a distance of 251.24 feet;

S 57°43'03" W a distance of 62.30 feet to a point on the northeasterly right-of-way line of High School Drive;

THENCE N 35°21'16" W with the northeasterly right-of-way line of High School Drive a distance of 87.69 feet to the PLACE OF BEGINNING and containing 944,552 square feet or 21.684 acres of land.

3. Explain how, if the variance is not granted, it will cause an unnecessary hardship for you to use your property for a valid purpose: (a hardship may not be self-imposed or financial in nature)

If the variance is not granted we will not be able to close our love of Country and State to the people of Rockwall and all who travel through. ~~It will cause the~~ The large flag will create goodwill and good feelings throughout the community.

Owner of Property 1540 EAST IH 30 ROCKWALL, LLC

Name of Applicant CLAY E COOLEY

Address ~~1540~~ 1540 E. I-30 HWY

City, State, Zip Rockwall TX 75087 Telephone (214) 597 8697

Signature [Signature] Date 6/23/20

\*\*\*\*\*

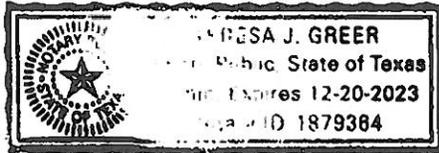
**OWNER'S AFFIDAVIT**

State of Texas  
County of Dallas

Before me the undersigned on this day personally appeared CLAY COOLEY  
who on his/her oath certifies that the above/attached statements are true and correct and that he/she is the legal owner of the property.

[Signature]  
Property Owner Signature

Subscribed and sworn to before me this 23 day of June, 2020.



[Signature]  
Notary Public In and For Dallas County, TX

Community Development Department  
Building Inspection Division

Signs/BOA/BOASignApp

Commerce St.

E Interstate 30  
Frontage Rd.

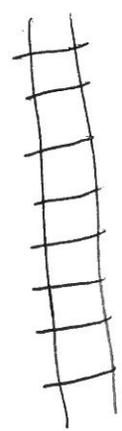
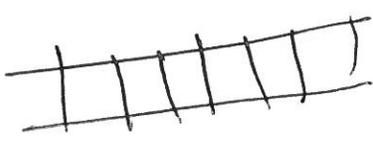
Grass

Grass

Clay Cooley  
Ayuneeii

Flapole

Flapole



# DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE

## STANDARD FITTINGS

**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

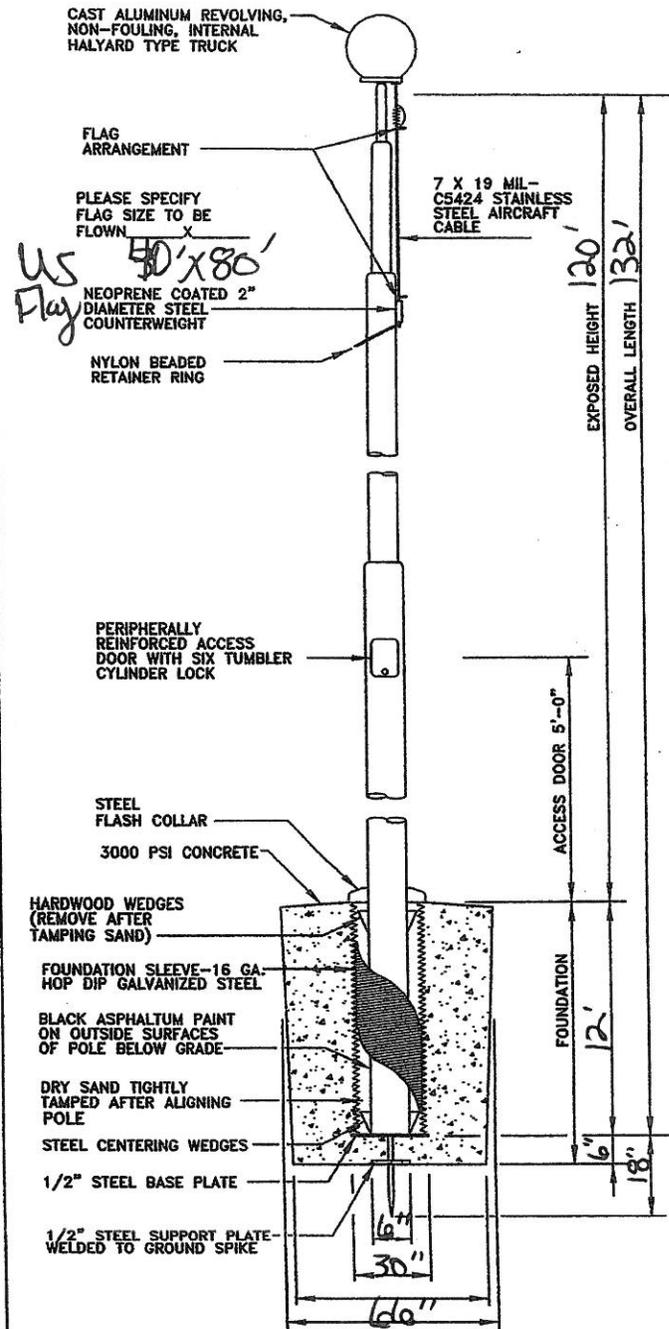
**TRUCK:** Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** ~~Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock, Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.~~

*Electric Winch  
See Attached*

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	CL GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. <i>Rockwall, TX</i>	EXP. HT. <i>120'</i>	OVERALL HT. <i>132'</i>	NO. OF SEC. <i>5</i>
ARCHT:	BUTT. DIA. <i>24"</i>	TOP DIA. <i>6.625"</i>	WALL THICKNESS <i>.375</i>
CONT R:	SHP IN <i>5</i> SEC.		FINISH: <i>powder coat</i>
CUST: <i>Clay Coody Hyundai</i>			

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
<i>120'</i>	<i>132'</i>	<i>6.625"</i>	<i>24"</i>	<i>.375</i>	<i>5</i>	<i>5</i>	<i>40'x80</i>	<i>10,100#</i>

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.



KIA Dealership



Buick/GMC Dealership



Ford Dealership



Honda Dealership

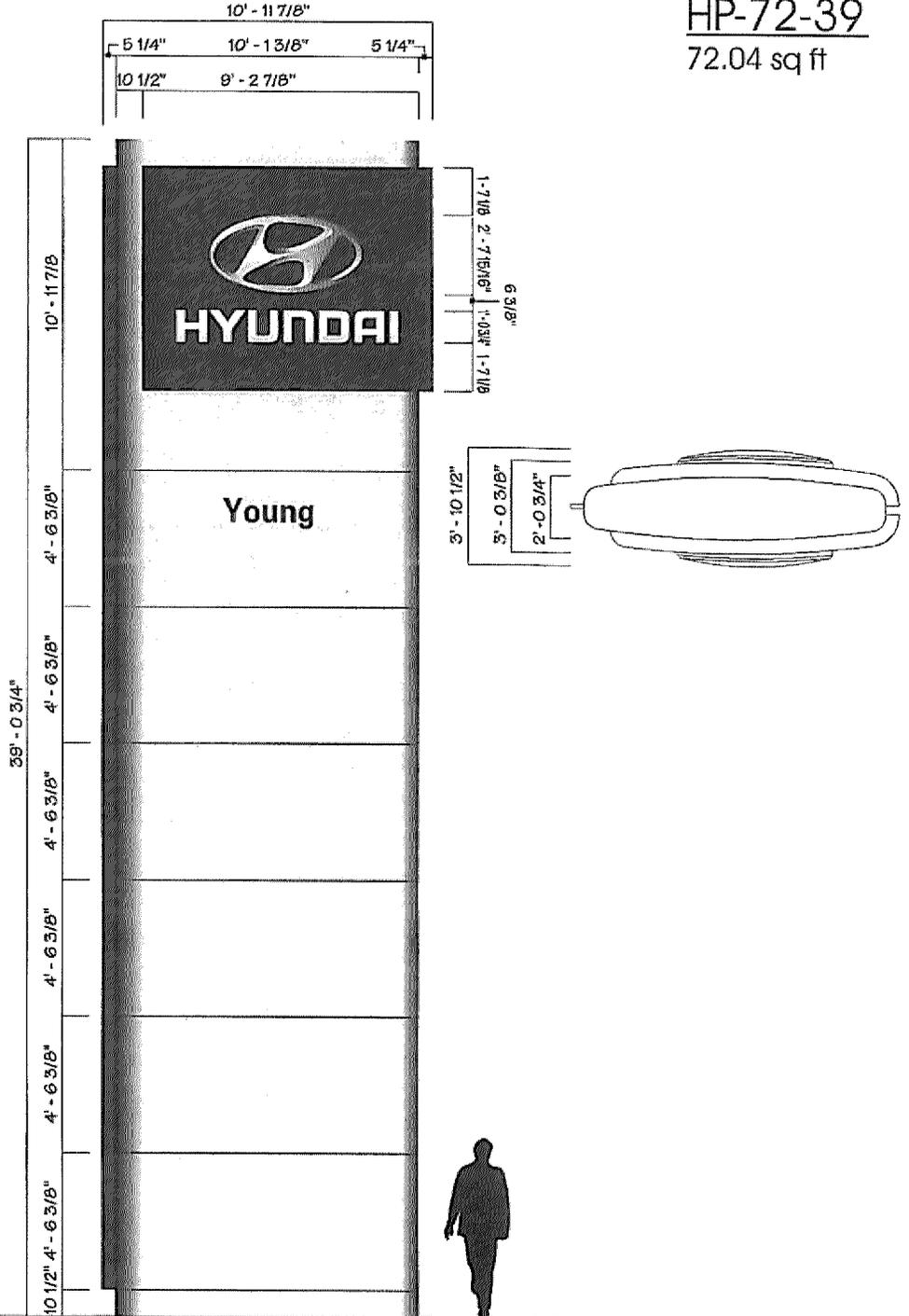


Toyota Dealership

# PYLONS

Dealer Name Text will vary.

**HP-72-39**  
72.04 sq ft



The final sign location is to be determined by the authority having jurisdiction.  
The approved location may vary from what is depicted in the rendering.

Site ID: Hyundai TX159

Drawn by: MAR



AGI Rep: JWB

Scale: 3/16"=1'

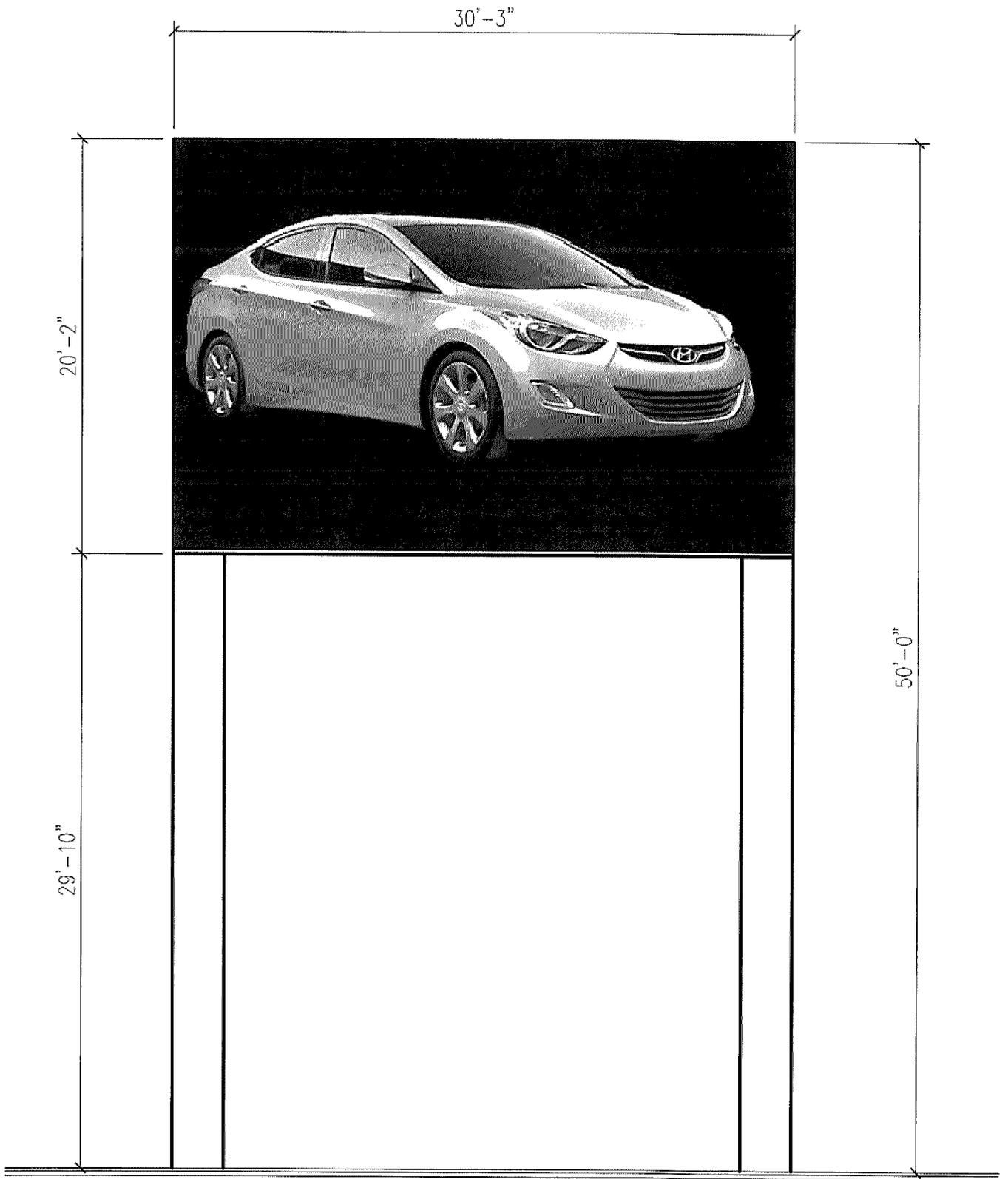
Date: 6/28/11

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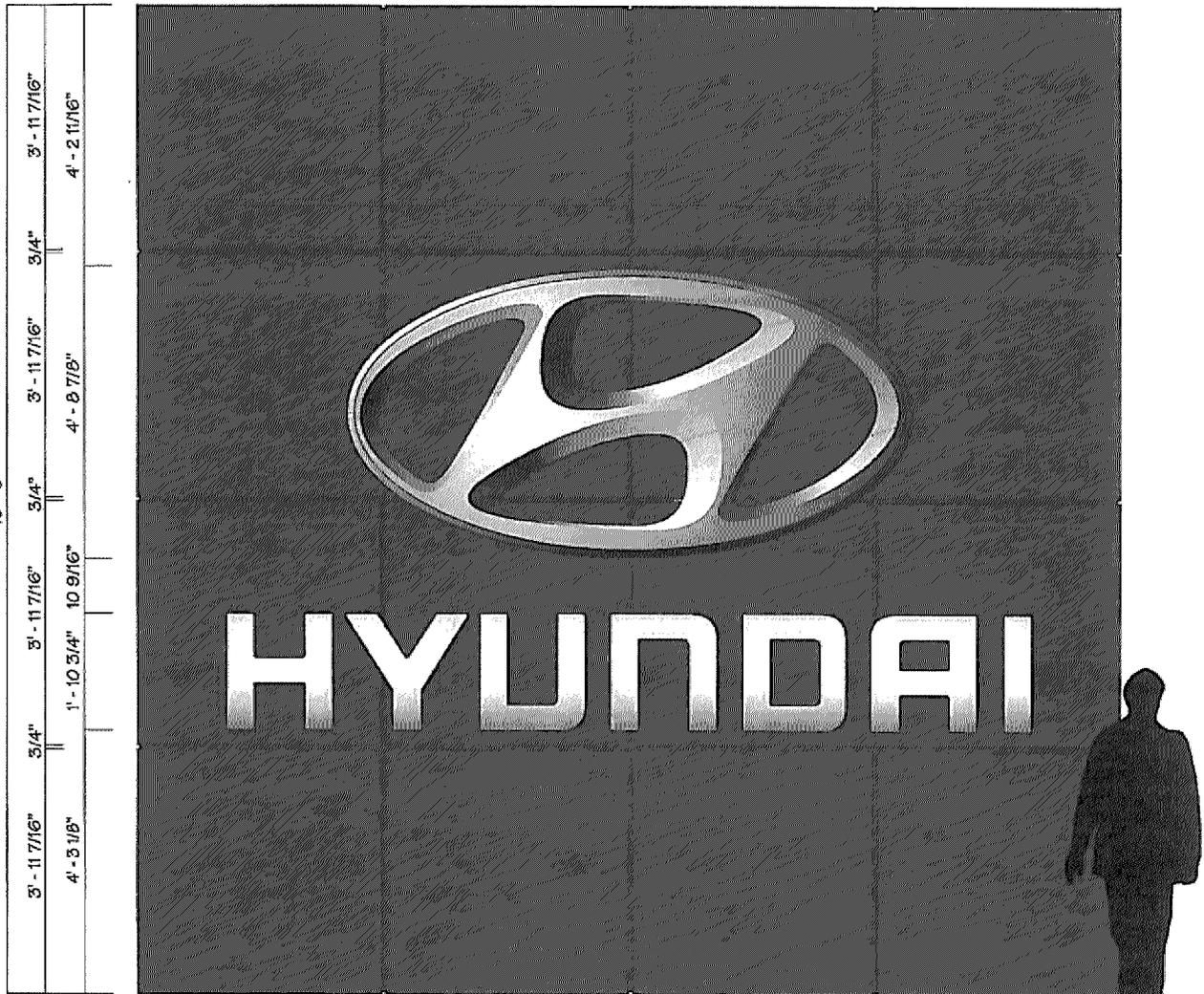
2655 International Pkwy., Virginia Beach, VA 23452  
PHONE: (757) 427-1900 - Fax (757) 430-1297  
www.AGSign.com



# ELECTRONIC MESSAGE DISPLAY

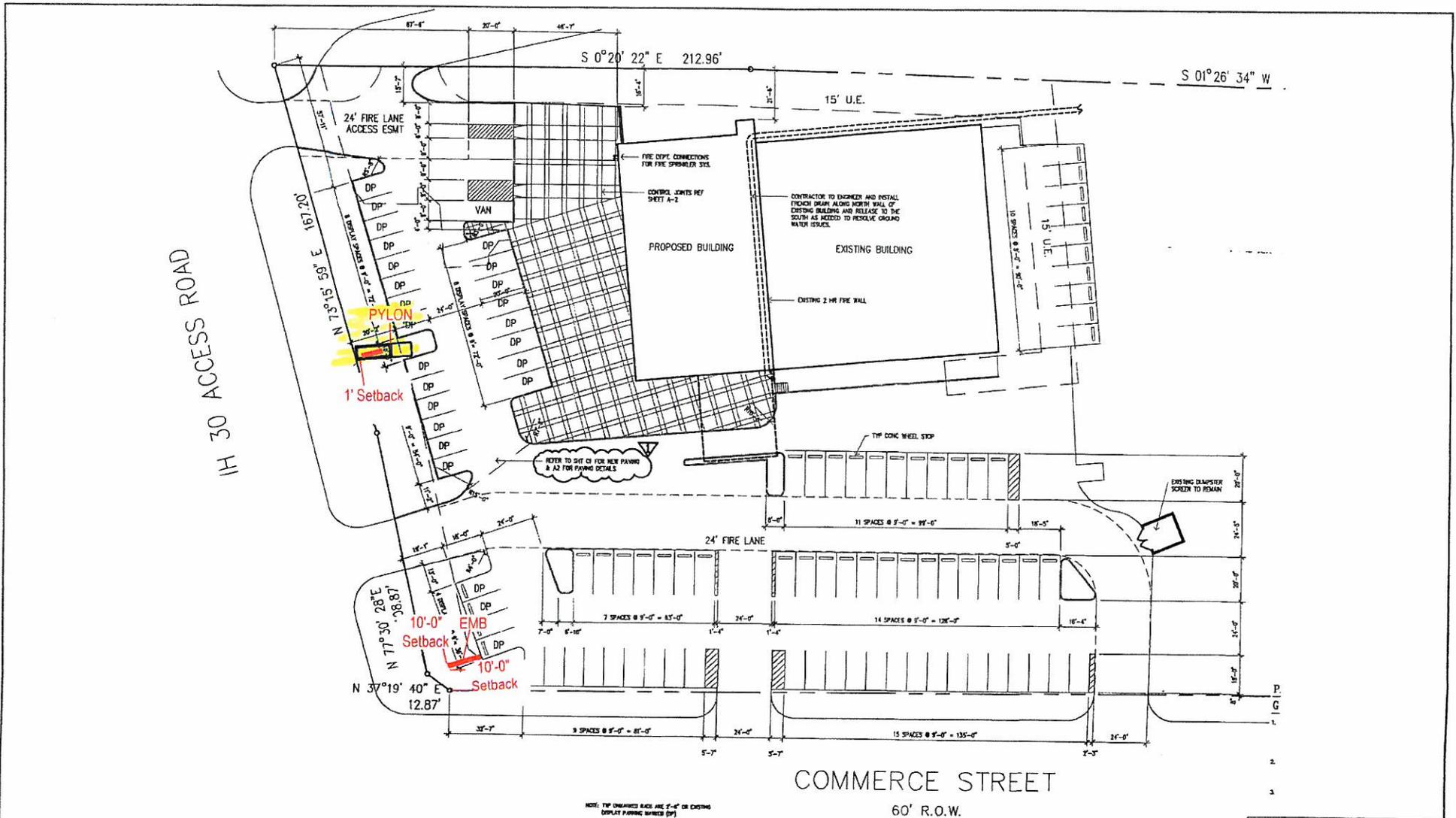
# "BLUE BOX" ARCHITECTURAL ELEMENTS

16' - 0"						
3' - 11 7/16"	3/4"	3' - 11 7/16"	3/4"	3' - 11 7/16"	3/4"	3' - 11 7/16"
3' - 4 7/16"			3' - 3 3/16"			3' - 4 7/16"
1' - 5 3/8"			13' - 1 1/4"			1' - 5 3/8"



**HBB-256**  
98.00 sq ft (SYMBOL & LOGO)

Site ID: Hyundai TX159 984		Drawn by: MAR
	AGI Rep: JWB	<small>This document is the sole property of Architectural Graphics, Inc. and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or in any form except for the purpose for which it was rendered, nor any special features peculiar to this design be incorporated in other projects.</small>
	Scale: 3/8" = 1' - 0"	
	Date: 8/15/11	
		 <b>Architectural Graphics, Inc.</b> 2655 International Pkwy., Virginia Beach, VA 23452 PHONE: (757) 437-1900 - Fax (757) 430-297 www.AGISign.com



NOTE: TYP UNPAVED RACE ARE 4'-0" ON EXISTING DISPLAY PAVING SURFACE (DP)

Site ID: TX159 Young Hyundai

Location:  
Rockwall, TX

Survey ID:  
Date: 1/9/13



AGI Rep: JWB  
Project Title:  
Scale: 1"=40'  
Date Revised:

Drawn by: MAR

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Keep on Job Site At All Times  
For Inspector's Use

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *STRUCTURE THAT EXCEEDS 60-FEET IN HEIGHT IN A LIGHT INDUSTRIAL (LI) DISTRICT* TO ALLOW THE CONSTRUCTION OF A FLAG POLE ON A 4.39-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Nabih Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of a flag pole on an existing motor vehicle dealership on a 4.39-acre parcel of land being described as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1540 E. IH-30, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of a flag pole on an existing motor vehicle dealership in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, and Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction and continued operation of a flag pole on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed flag pole shall not exceed a maximum overall height of 120-feet as measured from grade.
- 4) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF OCTOBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 21, 2020

2<sup>nd</sup> Reading: October 5, 2020

**Exhibit 'A'**  
**Location Map and Survey**

Address: 1540 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Recreational Addition

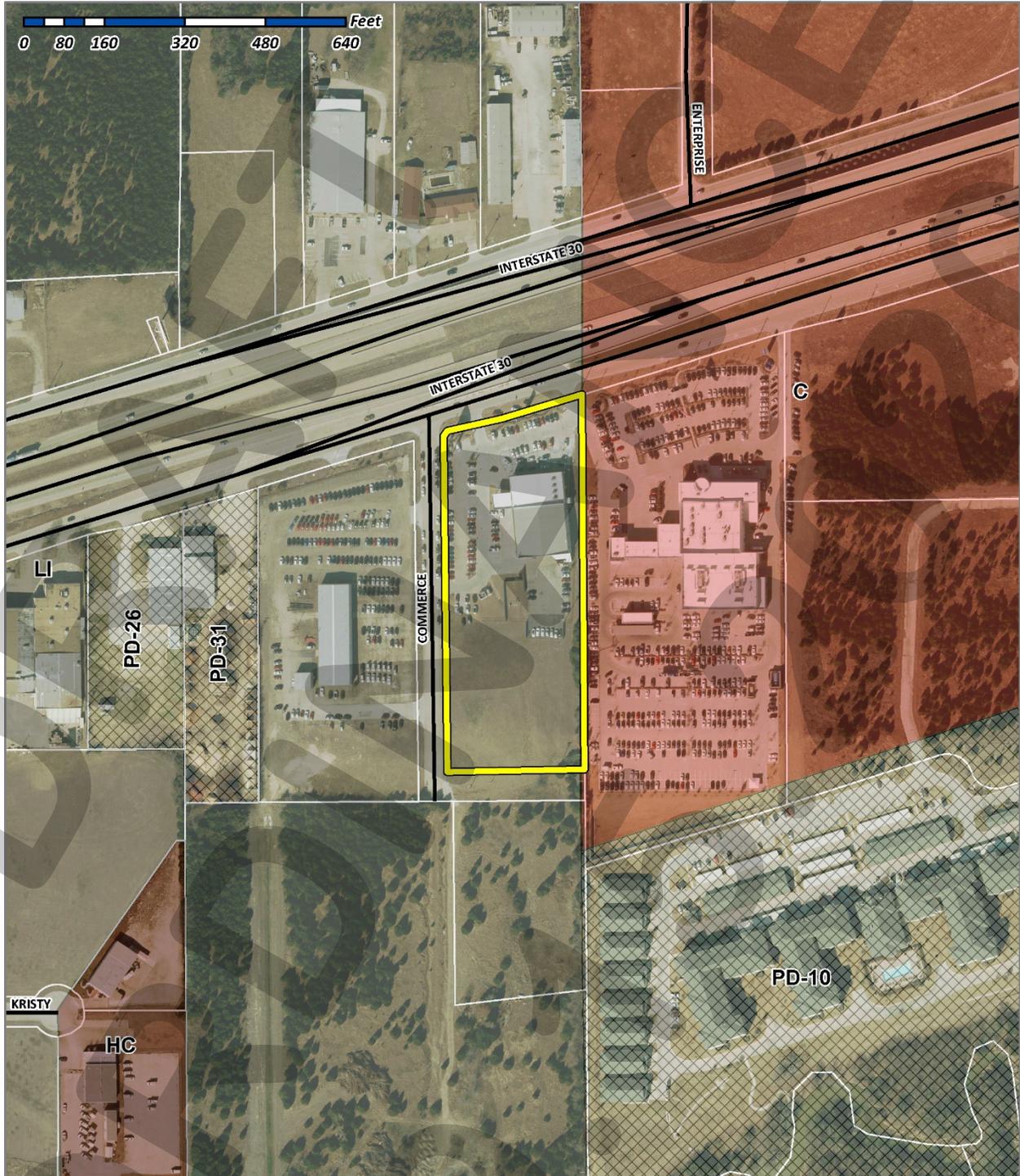
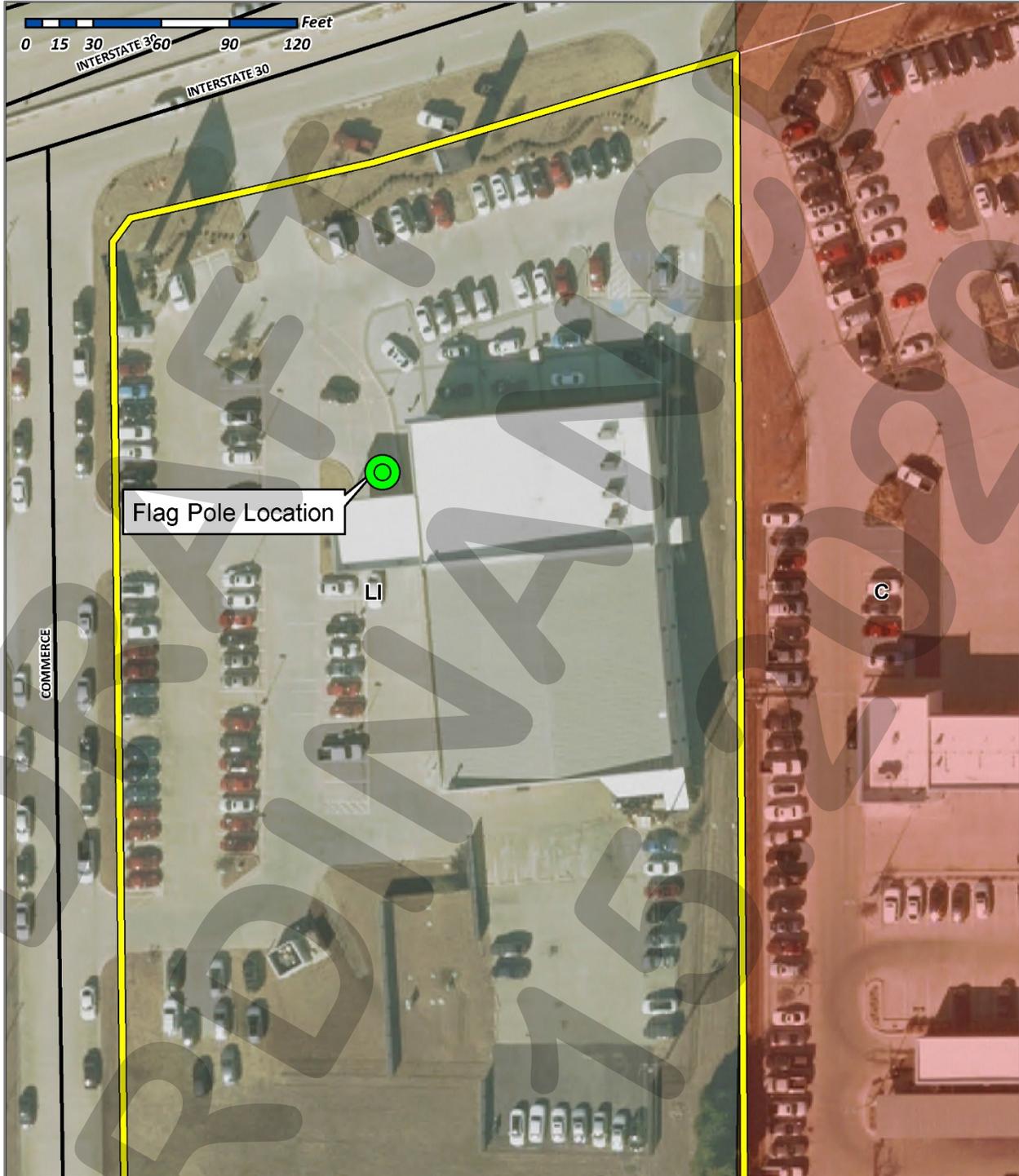


Exhibit 'B':  
Concept Plan



**Exhibit 'C':**  
*Flag Pole Elevations*

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**

**STANDARD FITTINGS**

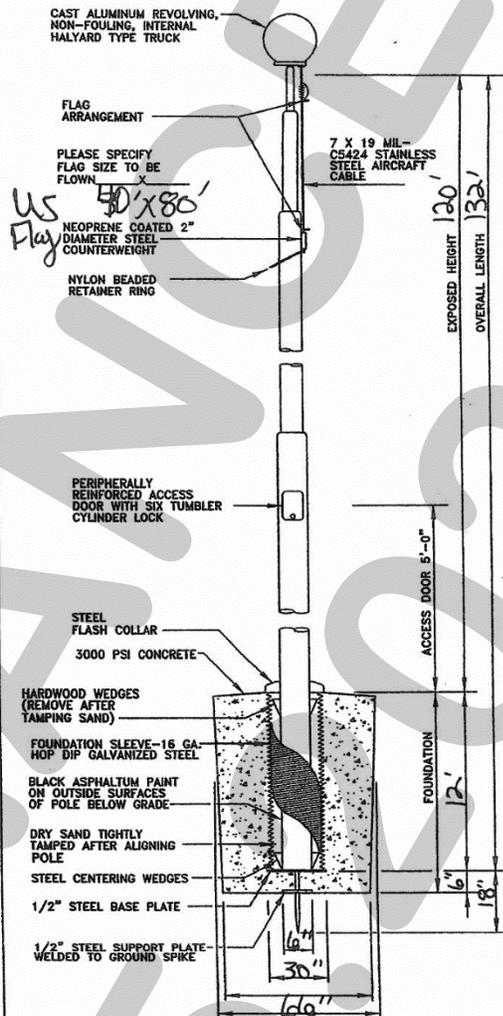
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE
LOC. Rockwall, TX	EXP. HT. 120' OVERALL HT. 132' NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24" TOP DIA. 16.25" WALL THICKNESS: .375
CONT R:	SHP IN 5 SEC. FINISH: powder coat
CUST: Clay Cooby Hyundai	

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
120'	132'	6.1625"	24"	.375	5	5	40'x80	10,100#

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**DATE:** September 15, 2020

**APPLICANT:** Casey Orr, PE; *Wier & Associates, Inc.*

**CASE NUMBER:** Z2020-037; *Specific Use Permit for a Restaurant, Less Than 2,000 SF, with a Drive-Through at 150 Pecan Valley Drive*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

### BACKGROUND

The subject property -- *which is a portion of a larger 2.356-acre tract of land* -- was annexed into the City of Rockwall on February 3, 1961 by *Ordinance No. 61-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The property would remain zoned Agricultural (AG) District until January 3, 2006 when the City Council approved Planned Development District 65 (PD-65) [*Ordinance No. 06-02; Case No. Z2004-037*]. This Planned Development District designated the subject property for General Retail (GR) District land uses. Since the establishment of Planned Development District 65 (PD-65), the Planned Development District has been amended three (3) times (*i.e. Ordinance No.'s 08-02, 10-28, & 17-03*); however, the designation of the subject property has remained for General Retail (GR) District land uses.

On July 9, 2019, the 2.356-acre tract of land -- *of which the 0.579-acre subject property is a part of* -- was approved for a site plan [*Case No. SP2019-023*] for an ~11,000 SF strip retail building. This portion of the tract of land is currently under construction, and physically separated from the subject property by flood plain that traverses the tract of land from N. Goliad Street to Pecan Valley Drive/Quail Run Road. Submitted concurrently with the site plan request for the 2.356-acre tract of land, was a Specific Use Permit (SUP) application for a *Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In* on the subject property [*Case No. Z2019-014*]; however, this request was ultimately withdrawn by the applicant on August 6, 2019. In addition, a final plat [*Case No. P2020-034*] was submitted for the entire 2.356-acre tract of land (*i.e. including the subject property*) and is currently being run concurrently with this case.

On June 19, 2020, the applicant had previously submitted same request as to what is being proposed currently (*i.e. for a Specific Use Permit [SUP] for a Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In*) under *Case No. Z2020-026*. This request was presented to the Planning and Zoning Commission on July 14, 2020, and was unanimously recommended for denial by a vote of 6-0, with Commissioner Moeller absent. Based on this, the applicant requested that the City Council withdraw the case. This withdraw request was approved by the City Council on July 20, 2020 by a vote of 7-0. After this action, the applicant resubmitted an application for the same request (*i.e. for a Specific Use Permit [SUP] for a restaurant, less than 2,000 SF, with drive-through or drive-in*). The only new materials provided with the reapplication were renderings of the building, an indication that the restaurant would be a *Smoothie King*, and a concept plan showing the inclusion of a walking trail.

## PURPOSE

The applicant -- *Casey Orr, PE of Wier & Associates, Inc.* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant Less Than 2,000 SF with a Drive-Through/Drive-In* for the purpose of developing a restaurant (*i.e. Smoothie King*) on the subject property.

## ADJACENT LAND USES AND ACCESS

The subject property is addressed as 150 Pecan Valley Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a ~11,000 SF strip retail building on the same tract of land as the subject property. This building is currently under construction and is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is a daycare facility (*i.e. Children's Lighthouse Daycare*) situated on a 3.543-acre parcel of land (*i.e. Lot 1, Block A, Children's Lighthouse Addition*), which is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses and Agricultural (AG) District. The Agricultural (AG) District portion of this property has a Specific Use Permit (SUP) for a daycare facility (*i.e. S-140; Ordinance No. 15-22*).

South: Directly south of the subject property is Pecan Valley Drive, which is designated as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a retail store and pharmacy (*i.e. Walgreens Pharmacy*) situated on a 1.9894-acre parcel of land (*i.e. Lot 1, Block B, North Lakeshore Valley*), which is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is N. Lakeshore Drive, which is designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a retail store and pharmacy (*i.e. CVS Pharmacy*) situated on a 2.519-acre parcel of land (*i.e. Lot 1R, Block B, Quail Run Retail*), which is zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses. Also, east of the subject property is a 62.484-acre tract of land (*i.e. Tract 3 of the S. King Survey, Abstract No. 131*) that is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property is Quail Run Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 11.723-acre tract of vacant land (*i.e. Tract 5 of the S. King Survey, Abstract No. 131*) that is owned by the City of Rockwall and zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a 1,415 SF limited service restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented toward S. Goliad Street, but will have only one (1) point of ingress/egress that will be on Quail Run Road. The drive-through lane will wrap around the building, and will not incorporate a *bailout* lane. The *food delivery/payment window* will be oriented north toward the floodplain and adjacent strip retail building, and the *restaurant ordering board* (*i.e. the point of order*) will be oriented facing directly onto N. Goliad Street approximately 37-feet from the right-of-way. In addition, the concept plan depicts eight (8) vehicles being able to be cued in the drive-through lane (*i.e. five [5] vehicles between the food delivery/payment window and the restaurant ordering board and three [3] vehicles behind the vehicle at the restaurant ordering board*) with headlight screening being included along N. Goliad Street. The concept plan also shows the provision of five (5) parking spaces and the location of trash dumpster enclosure.

## CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant Less Than 2,000 SF with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lands for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements and provides shrubs along N. Goliad Street to help impair the visibility of headlights; however, the proposed concept plan shows the business making use of Quail Run Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) or a residential street on the Master Thoroughfare Plan. In considering this non-conformity, it is important for staff to point out that the strip retail center currently being built north of the subject property already has a drive approach off of Quail Run Road, and that commercial traffic will be utilizing this portion of the roadway regardless of if this Specific Use Permit (SUP) is approved. It should also point out that additional landscaping -- *above and beyond what is depicted on the concept plan* -- will need to be provided to sufficiently screen the headlights of vehicles in the drive-through lane. Staff should also note that due to existing easements on the site, it may be difficult for the applicant to provide the required landscaping necessary to screen the headlights shining on to N. Goliad Street. If this proves to be the case, a three (3) foot masonry wall can be incorporated adjacent to the drive-through lane to achieve the same screening. This can be determined on the *Landscape Plan* submittal with the *Site Plan*, and an operation condition addressing this issue has been added to the attached draft ordinance.

In addition to not meeting the land uses standards, another issue with the proposed drive approach on Quail Run Road is its distance to the intersection of Pecan Valley Drive and Quail Run Road. According to the Engineering Department's *Standards of Design and Construction*, the minimum driveway spacing from an intersection of a R2 (*i.e. residential, two [2] lane, undivided roadway*) and a *Collector* is 100-feet. In this case, the driveway spacing is 37-feet from the intersection of Quail Run Road and Pecan Valley Road and the southernmost point of the proposed drive approach.

According to the City's parking requirements contained in Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *limited service restaurant* carries a parking requirement of one (1) parking space per 250 SF of building area. In this case, this would translate to a minimum of six (6) parking space (*i.e. 1,415 SF/250 SF = 5.66 or 6 parking spaces*). The proposed concept plan currently only depicts five (5) parking spaces. In addition, Subsection 01.05(B), *Trash/Recycling Enclosures*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states "...enclosures shall be located to the side or rear of the primary buildings, and shall not front on to a public right-of-way." In this case, the proposed trash enclosure fronts onto Pecan Valley Drive and would need a variance to this requirement.

Finally, staff should point out that as part of this amended request the applicant -- *unsolicited by staff* -- has incorporated a trail system that was not on the original, resubmitted concept plan. Since this was provided by the applicant it will be a requirement of the Specific Use Permit (SUP) ordinance; however, a portion of this trail system shows to be running into the 100-year floodplain. In order to do this, the applicant will need to perform a Flood/Waters of the United States Study and provide an updated tree mitigation plan for the site. This has been added as a condition of approval in the *Recommendation* section of this case memo.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District and Planned Development District 65 (PD-65). The submitted building renderings will be subject to both the requirements of the N. SH-205 Overlay (N. SH-205 OV) District and review by the Architectural Review Board (ARB) at the time of site plan. Based on this, these elevations are not being proposed to be tied down as part of this case.

## STAFF ANALYSIS

Due to the site constraints of this particular property, it would be difficult for the applicant to meet the compensatory requirements -- *which are stipulated by the Unified Development Code (UDC)* -- needed to off-set the variances depicted on the applicant's concept plan. As a result, the following waivers/variances need to be considered as part of this Specific Use Permit (SUP) request:

- (1) A variance to the locational requirements for a trash enclosure.
- (2) A variance to the parking requirements to reduce the parking from the required six (6) parking spaces to five (5) parking spaces.
- (3) A waiver to the driveway spacing requirements to allow a drive approach to be 37-feet away from the intersection of a collector and a residential roadway.
- (4) A waiver to allow a *Restaurant Less Than 2,000 SF with a Drive-Through/Drive-In* to only have access on to a residential roadway.

As previously stated, the strip retail center to the north -- *which is located on the same tract of land as the subject property* -- also has a drive approach on to Quail Run Road; however, this development also has an approach on to SH-205, which the subject property is not capable of. This means that all traffic generated on the subject property will have to make use of Quail Run Road.

It may also be material for staff to note that when the applicants originally met with staff about the strip retail center, staff informed the applicants that due to the site constraints (*i.e. flood plain, easements, buildable area, frontage on three [3] roadways, etc.*) it would be difficult for a building to be constructed on this portion of the property. Staff also explained that it was unsafe to allow a drive approach off of N. Goliad Street, Pecan Valley Drive, and/or Quail Run Road. At that time, the applicants were proposing a plan that showed a bridge connecting the subject property to the remainder of the tract (*i.e. where the strip retail center is being constructed*). Since this time, the applicant has attempted three (3) submittals on this property, all of which have been for limited service restaurants. Two (2) of these applications were withdrawn, with one (1) being withdrawn after the work session with the Planning and Zoning Commission and one (1) being withdrawn after the Planning and Zoning Commission's recommendation of denial. With all of this being said, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## NOTIFICATIONS

On August 15, 2020, staff mailed 35 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Shore on Lake Ray Hubbard, Random Oaks/Shores, Stone Creek, Quail Run Valley, and Lakeview Summit Homeowners Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 13 responses (*i.e. eight (8) emails and five (5) property owner notifications*) opposed to the applicant's request and one (1) property owner notification in favor of the applicants request.

## CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. Smoothie King*), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.

- (b) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along Pecan Valley Drive and N. Goliad Street to provide headlight screening for vehicles traveling along N. Goliad Street from vehicles in the drive-through and cueing lanes of the proposed restaurant.
- (2) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."
- (3) The approval of this Specific Use Permit (SUP) will waive the driveway spacing requirements for a drive approach on a residential street as stipulated in the Engineering Department's *Standards of Design and Construction Manual*.
- (4) The approval of this Specific Use Permit (SUP) will constitute a variance to the minimum parking requirements for a *limited service restaurant* as stipulated by Section 06.05, *Off-Street Loading Requirements*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) to allow five (5) parking spaces in lieu of the six (6) required parking spaces.
- (5) The approval of this Specific Use Permit (SUP) will constitute a variance to the dumpster enclosure orientation requirements stipulated by Subsection 01.05(B), *Trash/Recycling Enclosures*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) to allow the dumpster enclosure to be oriented toward a public right-of-way.
- (6) A Floodplain/Waters of the United States Study and updated tree mitigation plan will need to be submitted prior to establishing the trail in the floodplain.
- (7) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-037

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 150 Pecan Valley Dr

Subdivision A0131, S. King Survey, Tract 1; Pecan Valley Retail Lot 1 Block A

General Location NWC Goliad St & Pecan Valley Dr

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-65 w. N. SH-205 Overlay

Current Use Undeveloped/Vacant

Proposed Zoning PD-65 w. N. SH-205 Overlay

Proposed Use Restaurant w/ Drive-Thru

Acreage 2.246

Lots [Current] 1

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner JCDB Goliad Holdings, LLC

Applicant Wier & Associates, Inc.

Contact Person Chad DuBose

Contact Person Casey Orr, P.E.

Address 8350 N. Central Expressway  
Suite 1313

Address 121 S. Main St

City, State & Zip Dallas, TX 75206

City, State & Zip Henderson, TX 75654

Phone 214-701-8455

Phone 903-722-9030

E-Mail chad@foremark.com

E-Mail caseyo@wierassociates.com

## NOTARY VERIFICATION [REQUIRED]

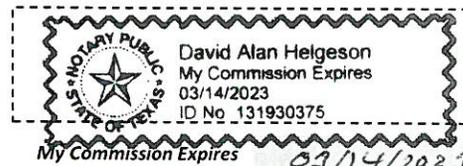
Before me, the undersigned authority, on this day personally appeared Cary Albert [Owner] the undersigned, who stated the information on this application to be true and certified the following:

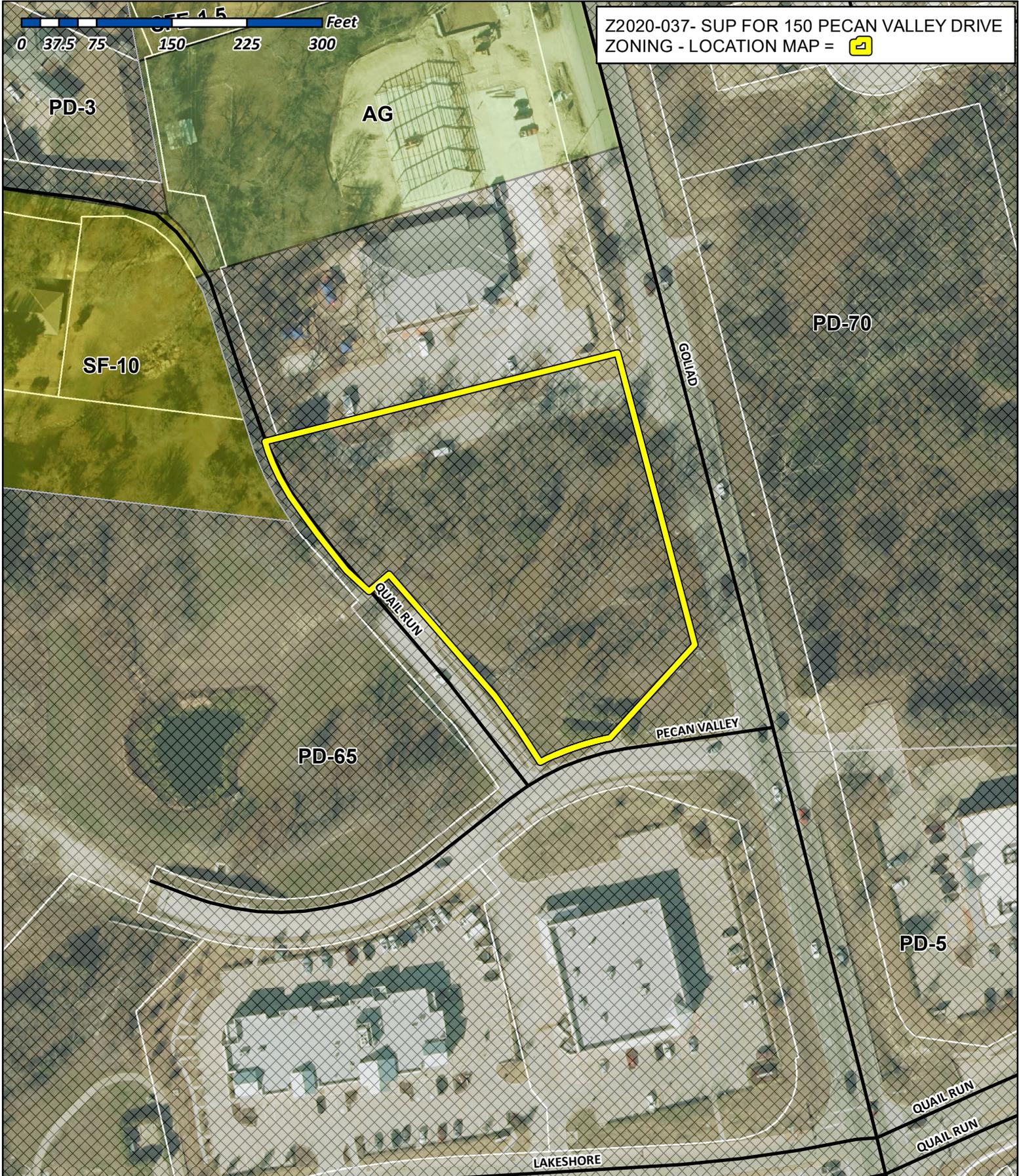
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 233.69, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14th day of August, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

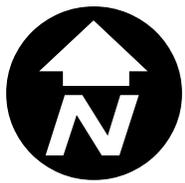




# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

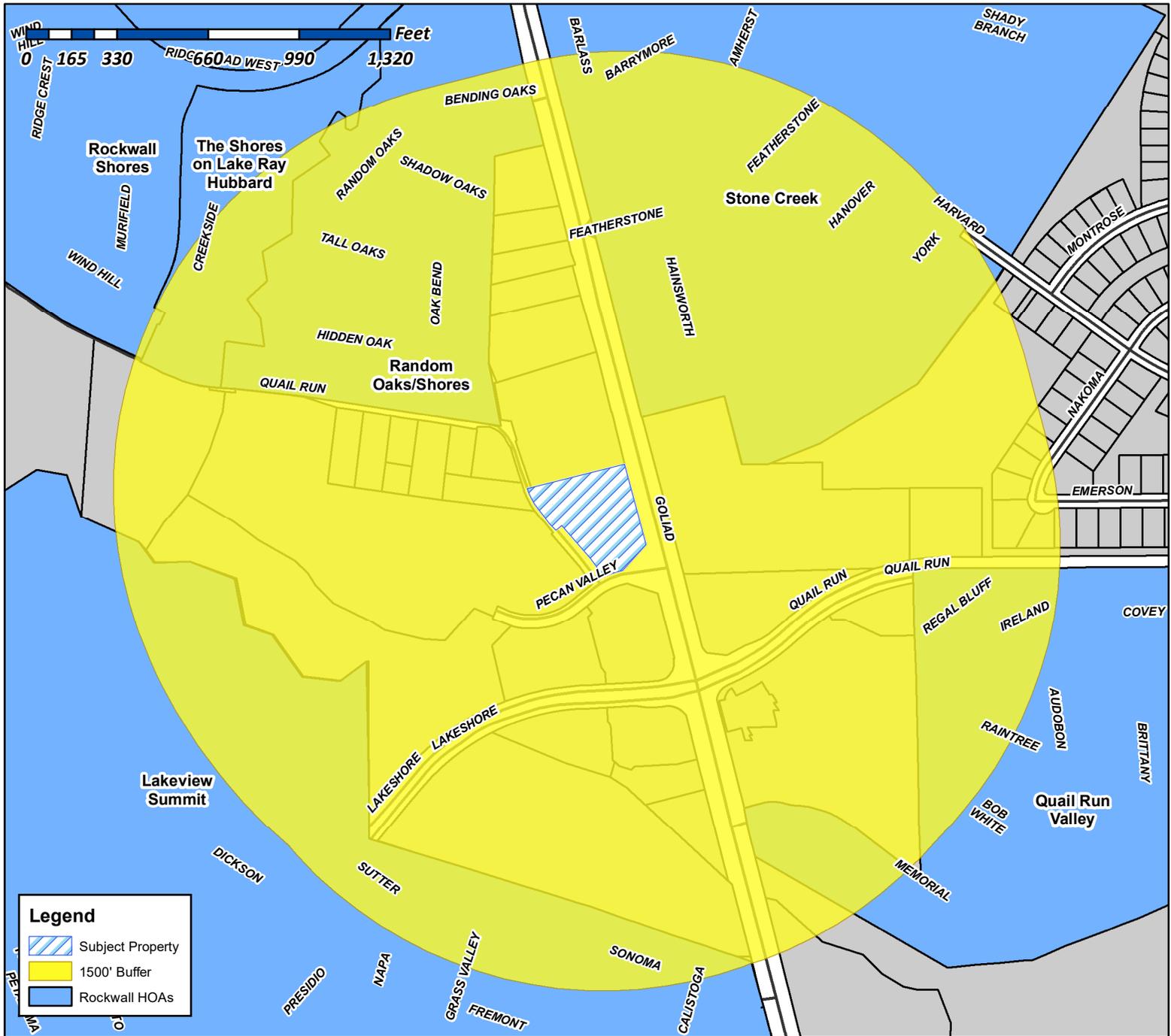
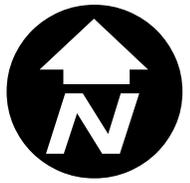




# City of Rockwall

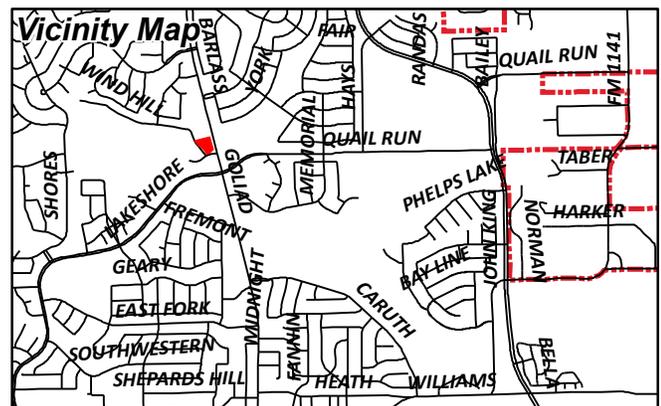
Planning & Zoning Department  
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**Case Number:** Z2020-037  
**Case Name:** SUP for 150 Pecan Valley Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development District 65 (PD-65)  
**Case Address:** 150 Pecan Valley Drive

**Date Created:** 8/14/2020  
 For Questions on this Case Call (972) 771-7745



**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program  
**Date:** Tuesday, August 18, 2020 4:59:49 PM  
**Attachments:** [HOA Map Z2020-037.pdf](#)  
[Public Notice \(08.18.2020\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 21, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 15, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 21, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

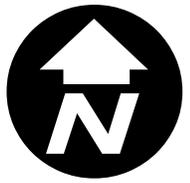
<http://www.rockwall.com/planning/>



# City of Rockwall

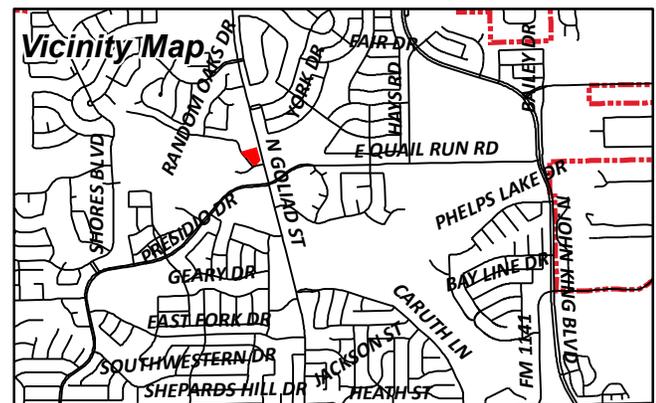
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2020-037  
**Case Name:** SUP for 150 Pecan Valley Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development District 65 (PD-65)  
**Case Address:** 150 Pecan Valley Drive

**Date Created:** 8/14/2020  
 For Questions on this Case Call (972) 771-7745



ROCKWALL STONE CREEK ESTATES  
HOMEOWNERS ASSOCIATION INC  
C/O NEIGHBORHOOD MANAGEMENT INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

ROCKWALL STONE CREEK ESTATES  
HOMEOWNERS ASSOCIATION INC  
C/O NEIGHBORHOOD MANAGEMENT INC  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

M REA PROPERTIES 2 LLC  
1234 TRALEE LN  
GARLAND, TX 75044

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C SUITE 200  
AUSTIN, TX 78660

CHAPMAN BOBBY E II AND AMY L CHAMPMAN  
1821 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

MOORE MICHAEL RAY JR & STEPHANIE  
1823 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

MORGAN RAYMOND L JR AND STEPHANIE L  
1825 HAINSWORTH DR  
ROCKWALL, TX 75087

ESCOBEDO OMAR & MARIA C  
1827 HAINSWORTH DRIVE  
ROCKWALL, TX 75087

SLOAN CHRISTOPHER A & MISTI D  
1830 OAK BEND DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2004 N GOLIAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2007 N GOLIAD  
ROCKWALL, TX 75087

ARKOMA DEVELOPMENT LLC  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

DEAN LANTY W & MARY F  
216 W QUAIL RUN RD  
ROCKWALL, TX 75087

DEAN LANTY W & MARY F  
216 W QUAIL RUN RD  
ROCKWALL, TX 75087

DEAN LANTY W & MARY F  
216 W QUAIL RUN RD  
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A  
218 W QUAIL RUN RD  
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D  
220 W QUAIL RUN RD  
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D  
220 W QUAIL RUN RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2265 NORTH LAKESHORE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
3009 N GOLIAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
3009 N GOLIAD  
ROCKWALL, TX 75087

CLARK TROY & JANICE  
3025 N GOLIAD ST  
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC  
C/O ROCKWALL REGIONAL HOSPITAL LLC; ATTN  
LEGAL DEPT.  
3150 HORIZON RD  
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP  
3819 MAPLE AVENUE  
DALLAS, TX 75219

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

JAVKER REALTY CORP  
42 BOND ST  
NEW YORK, NY 10012

ARRIAGA HENRY  
505 HIDDEN OAK LN  
ROCKWALL, TX 75087

JASMAN JAMES BLAKE  
511 HIDDEN OAK LN  
ROCKWALL, TX 75087

MURRAY NANCY J  
519 HIDDEN OAK LN  
ROCKWALL, TX 75087

REBAC OF ROCKWALL LLC  
6000 UNIVERSITY AVE STE 350  
WEST DES MOINES, IA 50266

GOLIAD REAL ESTATE LLC  
7700 EASTERN AVENUE SUITE 705  
DALLAS, TX 75209

REY LUIS SR AND JUDY L  
806 YORK DR  
ROCKWALL, TX 75087

ODEYEMI ADETUNJI  
808 YORK DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
825 GOLIAD  
ROCKWALL, TX 75087

MOORE WORTH INVESTMENTS LLC  
8445 FREEPORT PKWY SUITE 175  
IRVING, TX 75063

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive**

*Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.*

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Gamez, Angelica

---

**From:** Al Estrada <alrestrada@gmail.com>  
**Sent:** Wednesday, August 19, 2020 6:02 PM  
**To:** Planning  
**Subject:** Z20-20 037

Ladies and Gentlemen,

After careful consideration, it is my recommendation for this plan not to move forward with this proposal in this location.

The current traffic jams already produced by the current corner occupants on Goliad and Lakeview, in addition to the increase in traffic accidents will only become worse.

Respectfully submitted,

Al Estrada  
748 Monterey Drive  
ROCKWALL  
TX 75087  
713 829 0701

Lakeview Summit

---

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## Gamez, Angelica

---

**From:** Thomas Campion <thomas.campion@outlook.com>  
**Sent:** Wednesday, August 19, 2020 11:49 AM  
**To:** Planning  
**Subject:** Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive

To whom it may concern,

Do we have to knock down all the trees just to get another random fast food joint? It seems like plenty of space exists next to and behind McDonalds. If trees have to be cleared I would prefer a healthier establishment take their place such as a sprouts for example.

Thomas R. Campion  
Resident Stone Creek Estates  
108 Chatfield Drive  
Rockwall, TX 75087

**From:** Homeowner Association <Email\_Alert@calibersoftware.email>  
**Sent:** Wednesday, August 19, 2020 11:19 AM  
**To:** thomas.campion@outlook.com  
**Subject:** Neighborhood Notification Program Notice

Dear Residents-

Please see below for a notice from the City of Rockwall regarding a zoning case near Stone Creek Estates HOA.

"Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, August 21, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 15, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

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<https://sites.google.com/site/rockwallplanning/development/development-cases>.

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Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a *Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King

Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

Thank you,

Planning & Zoning  
City of Rockwall  
972.771.7745 Office  
<http://www.rockwall.com/planning/>

***Brittany Maxwell***

**Community Association Manager**

**Neighborhood Management, Inc.**

1024 S. Greenville Ave, Suite 230 | Allen, TX 75002

Direct 972-359-1548 X 230

**Website**      **Click & Share Your Experience**



**AAMC®- Accredited Association Management Company®**

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**From:** [Debe Hyde](#)  
**To:** [Planning](#)  
**Subject:** Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive  
**Date:** Saturday, August 22, 2020 9:17:54 PM

---

Good day to you!

My name is Trent Hyde and I live at 218 West Quail Run Road, Rockwall.

With regard to Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive - I am **OPPOSED to the request for the reasons listed below:**

I have lived in Rockwall for over 20 years and in that time have watched Planning & Zoning just approve to fill up every little space of the once quiet area of Quail Run / Lakeshore Drive. This is destroying the integrity and the small town feel of Rockwall to add yet another restaurant to Rockwall.

Have you ever tried to turn left from Pecan Valley Drive onto Highway 205 at any time of the day? It's close to impossible and extremely dangerous. I ask you to try it, especially during high traffic hours.

Please, we are pleading, do not approve any establishment to be built on this corner. You will just be adding one more problem to the chaos. Thank you for your consideration!

Trent Hyde  
214-924-9061

---

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**From:** [Ed Mahoney](#)  
**To:** [Planning](#)  
**Subject:** Z2020-037 Smoothie King  
**Date:** Thursday, August 20, 2020 10:35:03 AM

---

Isn't the intersection bad enough already? We do NOT need another fast food restaurant, even after 205 is widened.

Please deny this request.

Kaaren Mahoney  
2601 Nova Park Ct  
Rockwall  
(The Shores)

Sent from my iPad

---

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**From:** [J.Chastain](#)  
**To:** [Planning](#)  
**Subject:** Z2020-037  
**Date:** Sunday, August 23, 2020 7:11:27 AM

---

If like to express my concern with putting another drive through at the corner of lakeshore and 205. Morning traffic consistently backs up at this intersection all the way to the shores entrance. Bringing more people to this intersection will cause a lot of problems. Especially those who come North and have to pass through the line of cars as they try to turn left into this drive through. Not only is it an eye sore that they took down a beautiful Grove of trees but all of this cheap big chain fast food really downgrades rockwalls old charm. The original zoning was there for a reason. Rockwall was a well built city that preserved itself in it's correct areas. Please don't let that be degraded by some money hungry developers looking to make a quick dollar on any 20 square feet they can get there hands on.

---

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## Gamez, Angelica

---

**From:** Ed Mahoney <saildrambuie@sbcglobal.net>  
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**To:** Planning  
**Subject:** Z2020-037 Smoothie King

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Please deny this request.

Kaaren Mahoney  
2601 Nova Park Ct  
Rockwall  
(The Shores)

Sent from my iPad

---

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

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**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*Please do not remove the little left of what was once a beautiful area. This intersection is already over loaded with traffic - Don't add more. Leave what's left for the children and family who use it to walk. Let those wanting to make another million go some where else - Leave the area.*

Name: *Lanty W. Dean*  
Address: *216 W. Duval Park Rd.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

*Lanty W. Dean*

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Gamez, Angelica

---

**From:** Marshall Brown <marshbrown@gmail.com>  
**Sent:** Wednesday, August 19, 2020 3:30 PM  
**To:** Planning  
**Subject:** Case Z2020-037

Greetings,

I'm writing this email in protest of Planning Case Z2020-037. I disagree with a drive through establishment in this area. Not only did a nice grove of trees get torn down for development, but a Smoothie King is not what is needed. If we want to keep that Rockwall small town feel, we should be promoting more restaurants where people can hang out. Bring some of the downtown feel to the Lakeshore/205 area instead.

There's a good walking path nearby. Maybe we could model the area to cater to more pedestrian traffic to alleviate the traffic congestion that's already there?

Cordially,

Marshall Brown  
673 Hanover Dr, Rockwall, TX 75087

---

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# PUBLIC NOTICE



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Director of Planning & Zoning



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PLEASE RETURN THE BELOW FORM

**Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Every beautiful tree will have to be removed.  
It will be dangerous for us and the children in the neighborhood because of the traffic.  
We will never be able to get onto Goliad St.  
Name: *Mary F. Dean*  
Address: *216 W. Quail Run Rd.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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*Mary F. Dean*

# PUBLIC NOTICE



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Sincerely,

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Director of Planning & Zoning



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PLEASE RETURN THE BELOW FORM

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

THE SIZE AND SHAPE OF THE PROPERTY MAKES PLACING ANY SIZE RESTAURANT FACILITY A DANGEROUS PROPOSITION. 1. 1200 IS large enough TO ALLOW INSIDE SEATING - SITE DOES NOT ALLOW ENOUGH PARKING; 2. INGRESS/EGRESS TO SITE WOULD BE WITHIN 30 FEET OF CORNER OF W QUAIL RUN RD & PECAN VALLEY WHICH IS SIGNIFICANTLY LESS THAN THE 100' REQUIREMENT MAKING A DANGEROUS TRAFFIC SITUATION THAT COULD CAUSE ACCIDENTS AND HARM TO PEDESTRIANS. 3. IT WOULD IMPAIR ACCESS TO CURRENT PROPERTY OWNERS.

Name: MICHAEL HUNTER  
Address: 260 W. QUAIL RUN RD, ROCKWALL TEXAS 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Blank lines for providing reasons for support or opposition.

Name: <sup>Klartu</sup> Moore Investments, LLC  
Address: 4995 Freeport Drwy Suite 175, Irving TX 75062

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

### Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

This would impose a hazardous Traffic situation for pedestrians and Residents on Quail Run, Pecan Valley, as well as <sup>impede</sup> Traffic on 205

Name: Vickie Hunter  
Address: 220 W. Quail Run Rd., Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**From:** [Wendy Lee-Graham](#)  
**To:** [Planning](#)  
**Subject:** Re: case Z2020-037  
**Date:** Wednesday, August 26, 2020 5:00:48 PM

---

Hello,

I am emailing today to request you deny the planning application for a Smoothie King at this location. The last thing we need is another drive-thru establishment (or nail salon/dentist/childcare...) in this area.

Kind regards,  
Wendy Lee-Graham  
1645 Plummer Drive  
Rockwall, TX 75087

---

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



**WIER & ASSOCIATES, INC.**  
ENGINEERS  
SURVEYORS  
LAND PLANNERS

August 14, 2020

City of Rockwall  
Planning & Zoning Dept.  
385 S. Goliad St  
Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT  
NW CORNER OF GOLIAD & PECAN VALLEY  
W&A# 19022**

PRINCIPALS  
JOHN P. WIER, P.E., R.P.L.S.  
ULYS LANE III, P.E., R.P.L.S., CFM  
CARLO SILVESTRI, P.E.  
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES  
PHILIP L. GRAHAM, P.E.  
JAKE H. FEARS, P.E., LEED AP BD+C  
RANDALL S. EARDLEY, P.E.

ASSOCIATES  
TOBY W. RODGERS  
CASEY D. YORK  
PRIYA N. ACHARYA, P.E.  
TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

JCDB Goliad Holdings, LLC intends to develop a portion of a 2.174-acre parcel of land, zoned as PD-65 within the N. SH-205 Overlay District, and situated in the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas. Said property is generally located at the northwest corner of Goliad St and Pecan Valley Dr and is addressed as 150 Pecan Valley Dr.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 1,400±-sf restaurant with drive-through on the southern portion of the tract. This development requires a Specific Use Permit due to being a restaurant, less than 2,000-sf, with drive-through or drive-in facilities. The developable area south of the existing creek is bound by several site constraints, which include easements, right-of-way dedication, and floodplain. A site plan exhibit, prototypical floor plan and renderings, and typical traffic counts are included with this submittal for reference.

We request that the review of the Specific Use Permit application for the property noted above be recommended for approval by staff. Please contact the developer, Chad DuBose with JCDB Goliad Holdings, LLC, by phone at 214-701-8455 or via email at chad@foremark.com or the developer’s engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

Casey Orr, P.E.  
Project Manager

2201 E. LAMAR BLVD., SUITE 200E  
ARLINGTON, TEXAS 76006-7440  
(817) 467-7700  
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.  
HENDERSON, TEXAS 75654-3559  
(903) 722-9030  
TOLL FREE FAX (844) 325-0445



**WIER & ASSOCIATES, INC.**  
 ENGINEERS  
 SURVEYORS  
 LAND PLANNERS

September 1, 2020

City of Rockwall  
 Planning & Development Services  
 385 S. Goliad Street Rockwall, TX 75087  
 Attn: Angelica Gamez

PRINCIPALS  
 JOHN P. WIER, P.E., R.P.L.S.  
 ULYS LANE III, P.E., R.P.L.S., CFM  
 CARLO SILVESTRI, P.E.  
 GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES  
 PHILIP L. GRAHAM, P.E.  
 JAKE H. FEARS, P.E., LEED AP BD+C  
 RANDALL S. EARDLEY, P.E.

ASSOCIATES  
 TOBY W. RODGERS  
 CASEY D. YORK  
 PRIYA ACHARYA, P.E.

RE: WA # 19022 – 150 PECAN VALLEY DR, ROCKWALL, TX 75087 (Z2020-037)

Dear City of Rockwall,

On behalf of the applicant, please find below a listing of requested waivers of the City of Rockwall Unified Development Code:

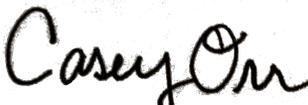
**Land Use Conditional Standards:** applicant is requesting a drive-thru for a restaurant, which is less than 2,000 sf. The proposed drive-thru will accommodate at least the required minimum 6 stacking spaces.

**Driveway Spacing:** applicant is requesting a waiver from the required driveway spacing. The site is bound by several constraints, including floodplain to the north, utility easements to the south and east, and 3 public roadways. The proposed driveway location is the most feasible.

**Dumpster Location:** applicant is requesting a waiver to allow the trash enclosure to front Pecan Valley. The enclosure will be screened with landscaping, a masonry wall, and a gate.

A copy of the SUP site plan and supporting documents are included for reference. Should you have any questions or require additional information, please do not hesitate to contact us.

Respectfully,

  
 Casey Orr, P.E.

2201 E. LAMAR BLVD., SUITE 200E  
 ARLINGTON, TEXAS 76006-7440  
 (817) 467-7700  
 FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.  
 HENDERSON, TEXAS 75654-3559  
 (903) 722-9030  
 TOLL FREE FAX (844) 325-0445

PRINTED: 9/1/2020 5TB FILE: WIER-PAVING-STB LAST SAVED: 9/1/2020 10:44 AM SAVED BY: CASEYO FILE: SUP SITE PLAN SMOOTHIE KING.DWG

LEGEND	
	LANDSCAPE AREA (REF: LANDSCAPE PLAN)
	CONCRETE SIDEWALK

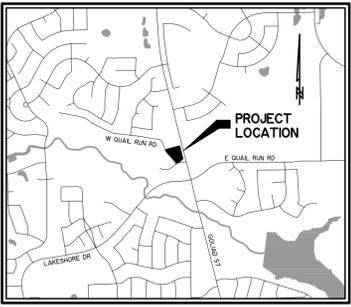
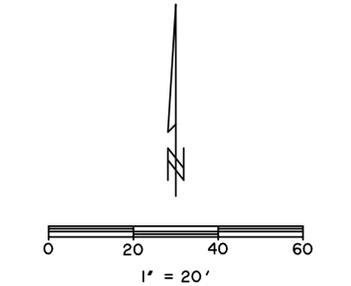
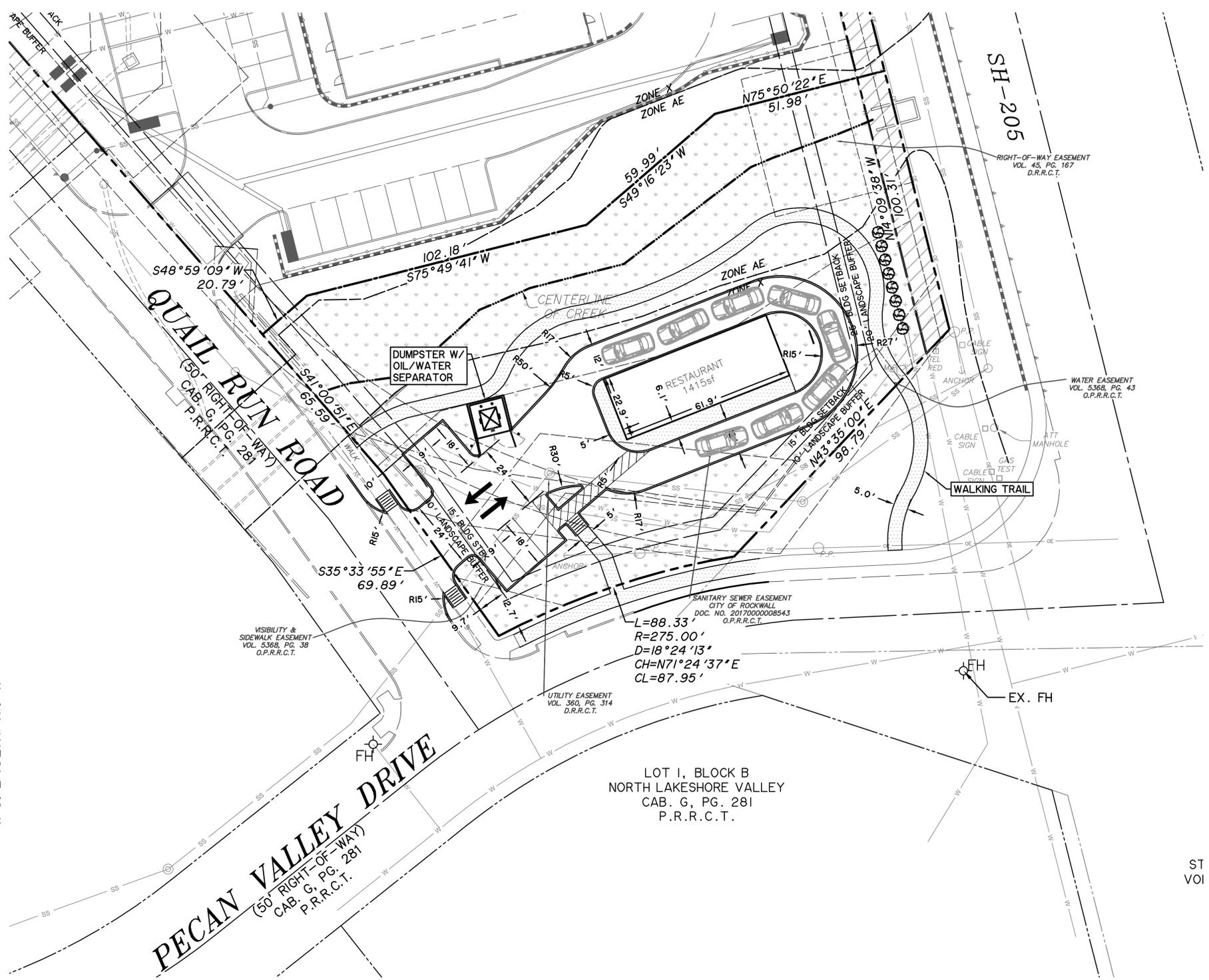
- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

**FEMA NOTE**

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'AE' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A' AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

**DEVELOPER**  
 JCDB GOLIAD HOLDINGS, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE 1313  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 CHAD@FOREMARK.COM

**ENGINEER**  
 WIER & ASSOCIATES  
 CONTACT: CASEY ORR, P.E.  
 121 S. MAIN ST  
 HENDERSON, TX 75654  
 PHONE: (903) 722-9030  
 CASEYO@WIERASSOCIATES.COM



**VICINITY MAP**  
 1" = 2,000'

SITE DATA CHART	
ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	LIMITED SERVICE RESTAURANT
LOT AREA (ARTIFICIAL)	0.579± AC (25,233 SF)
BUILDING AREA	1,415 SF (REQUIRES SUP APPROVAL)
BUILDING HEIGHT	11'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
BUILDING/LOT COVERAGE	5.6%
LANDSCAPE AREA	16,679 SF
LANDSCAPE COVERAGE	66.1%
NUMBER OF SEATS	1/250 SF = 1415/250 = 6
REQUIRED PARKING	6
PROVIDED PARKING	5

LOT I, BLOCK B  
 NORTH LAKESHORE VALLEY  
 CAB. G, PG. 281  
 P.R.R.C.T.

CONCEPTUAL PLANS  
 FOR PROJECT REVIEW.  
 NOT FOR  
 CONSTRUCTION,  
 BIDDING OR PERMIT  
 PURPOSES.  
 Prepared By/Or Under  
 Direct Supervision Of  
 Casey B. Orr, PE  
 Texas Registration  
 No. 121642  
 On Date Shown Below.

**SUP SITE PLAN  
 RESTAURANT  
 150 PECAN VALLEY DR  
 ROCKWALL, TEXAS**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, L.T.D., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

**September 1, 2020**

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS LAND PLANNERS**  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com  
 CASE No.: Z2020-037

DATE: 9/1/2020  
 W.A. No. 19022



STUDIO | DESIGN



STUDIO DESIGN



STUDIO | DESIGN

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT, LESS THAN 2,000 SF, WITH A DRIVE-THROUGH OR DRIVE-IN ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 1 OF THE S. KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Casey Orr, PE of Wier & Associates, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, addressed as 105 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 65 (PD-65) [Ordinance No. 17-03] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [*Ordinance No. 17-03*]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along *Pecan Valley Drive* and *N. Goliad Street* to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed restaurant.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF OCTOBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

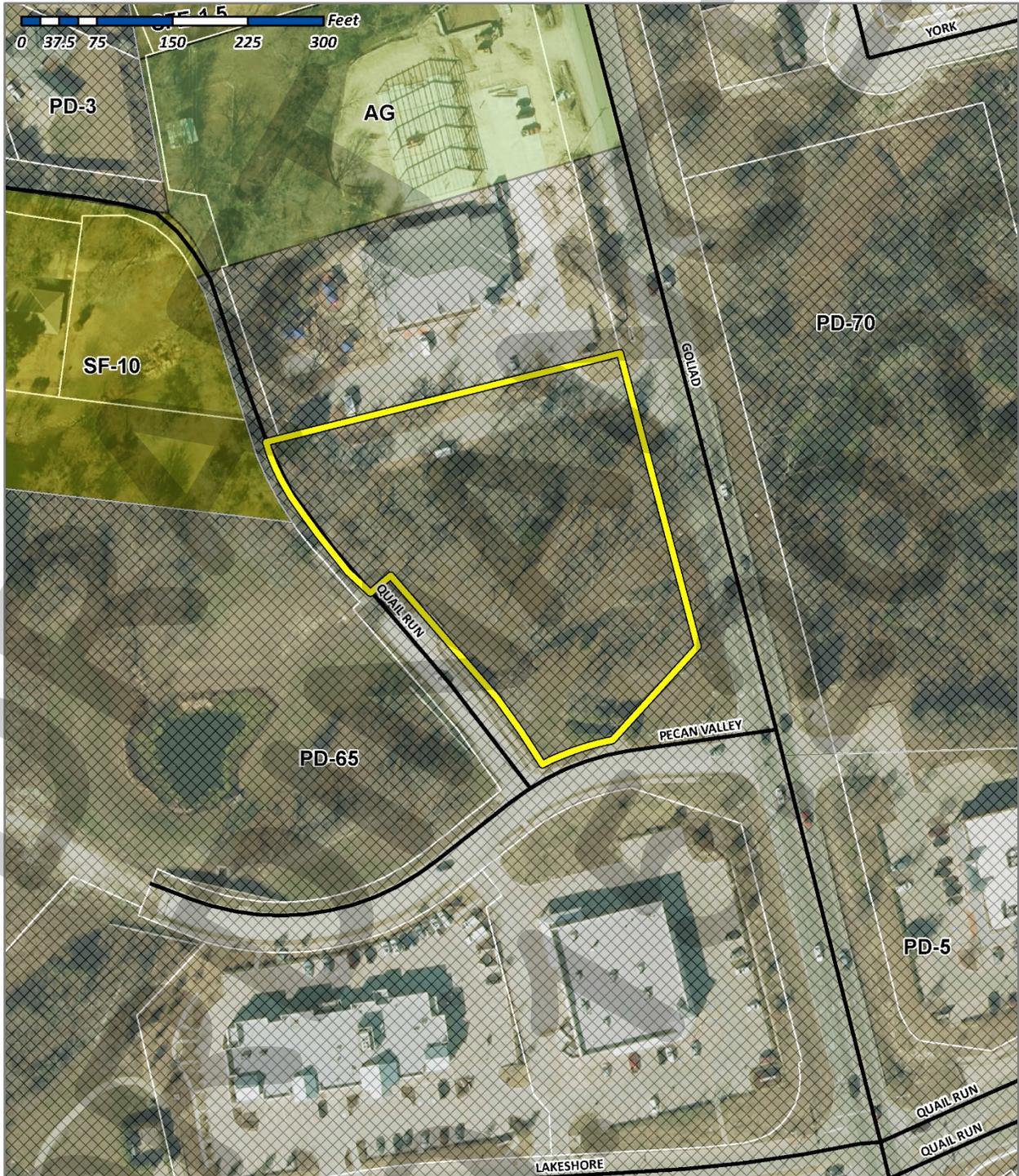
1<sup>st</sup> Reading: September 21, 2020

2<sup>nd</sup> Reading: October 5, 2020

**Exhibit 'A'**  
*Location Map and Legal Description*

Address: 105 Pecan Valley Drive

Legal Description: Tract 1 of the S. King Survey, Abstract No. 131



**Exhibit 'A'**  
*Location Map and Legal Description*

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- (1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- (2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

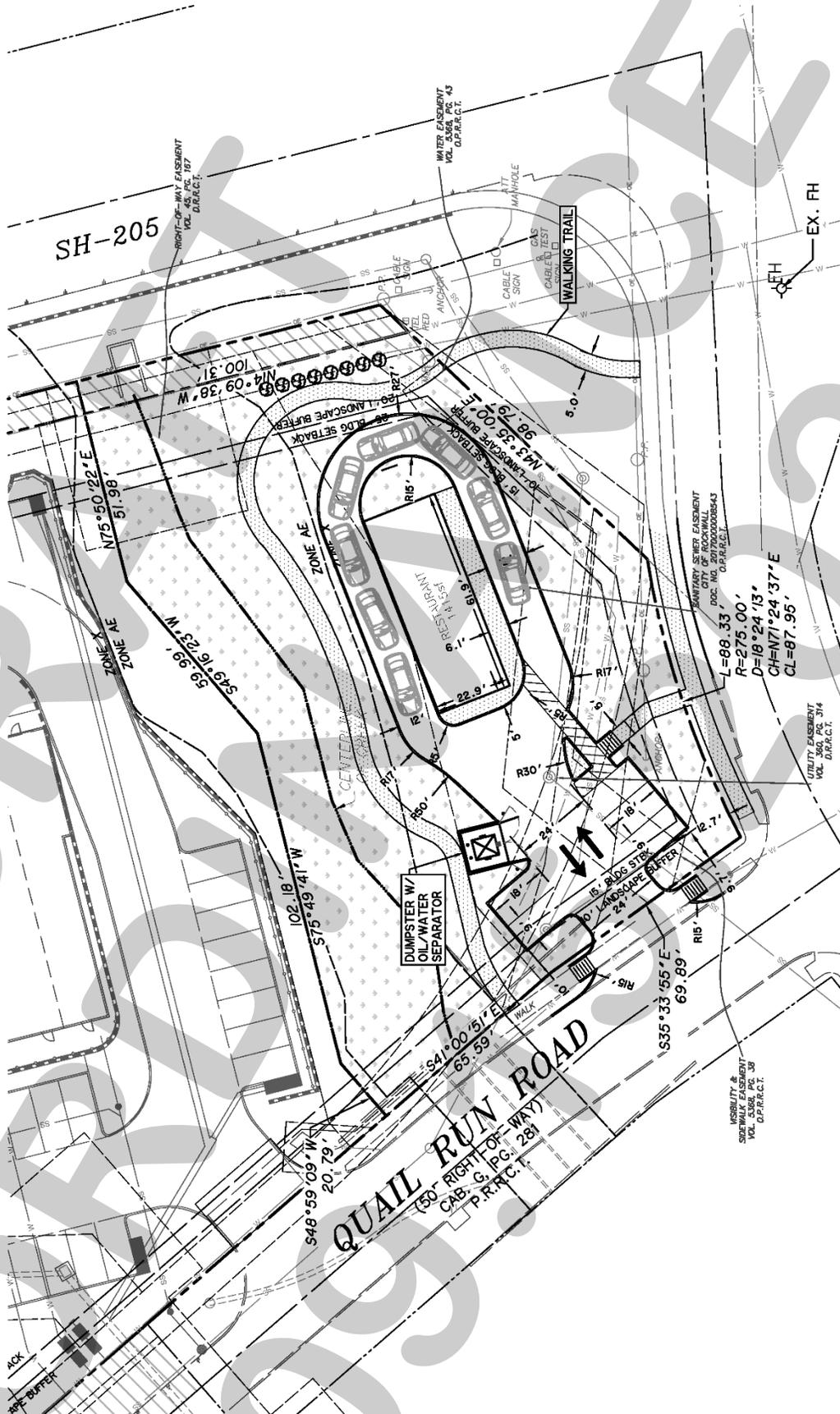
THENCE 75°50'22" E, 51.98 FEET TO A POINT;

THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.

Exhibit 'B':  
Concept Plan





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 15, 2020  
**APPLICANT:** Ruben Segovia  
**CASE NUMBER:** Z2020-038; *Specific Use Permit (SUP) for a Residential Infill for 269 Russell Drive*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

### **BACKGROUND**

The subject property was originally platted as Lots 1286 & 1287 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. At the time of annexation, one (1) manufactured home was situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. Based on aerial imagery, at some point between February 13, 2014 and March 28, 2015, the manufactured home situated on the subject property was demolished. The subject property has remained vacant since this demolition.

### **PURPOSE**

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 269 Russell Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are developed with mobile/manufactured homes. Beyond this are several vacant lots.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. Of the twelve (12) lots south of the subject property four (4) have mobile/manufactured homes, with the rest of the lots being vacant. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. One (1) of the properties has a mobile/manufactured home, the other lots are vacant. Beyond this is Lynne Drive, which is classified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Russell Drive, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are developed with mobile/manufactured homes. Beyond this is Wayne Drive, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Russell Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Russell Drive Between County Line Road and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Russell Drive are oriented toward Russell Drive.	The front elevation of the home will face onto Russell Drive.
Year Built	1970-2000	N/A
Building SF on Property	840 SF – 2,106 SF	2,102 SF (1,640 SF of Air-Conditioned Space)
Building Architecture	Mobile/Manufactured Homes	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated between 0-Feet and greater than 20-feet.	X>20-Feet
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	X>5-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>10-Feet
Building Materials	Aluminum & Wood Siding, Modular Paneling, Composite Siding, and Vinyl Siding	Combination of HardiBoard Siding, Brick, and Stucco
Paint and Color	White, Cream, Light-Brown, Blue, and Tan	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle
Driveways/Garages	Driveways are all in the front and visible from Russell Drive; however, some are behind front yard fences. Two (2) of the homes have enclosed garages.	The garage will be a recessed front entry garage with the driveway facing onto Russell Drive and the garage door being ~24-feet behind the front façade of the proposed home.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On August 18, 2020, staff mailed 144 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22070-038

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: Ryli

CITY ENGINEER: Agua

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 629 Russell Drive Rockwall county Texas

Subdivision \_\_\_\_\_ Lot 1286, 1287 Block \_\_\_\_\_

General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential single family

Current Use Vacant

Proposed Zoning Residential Single family

Proposed Use Residential

Acreage 14,400 sqft Lots [Current] 1286, 1287#2 Lots [Proposed] #1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Jose E. Valerio

Applicant Ruben Segovia

Contact Person

Contact Person

Address 3027 Mason drive

Address 9512 Teagarden Dallas

City, State & Zip Mesquite TX 75150

City, State & Zip Dallas TX 75217

Phone 469-286-9964

Phone 972-363-5019

E-Mail

E-Mail fmecworks2016@gmail.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

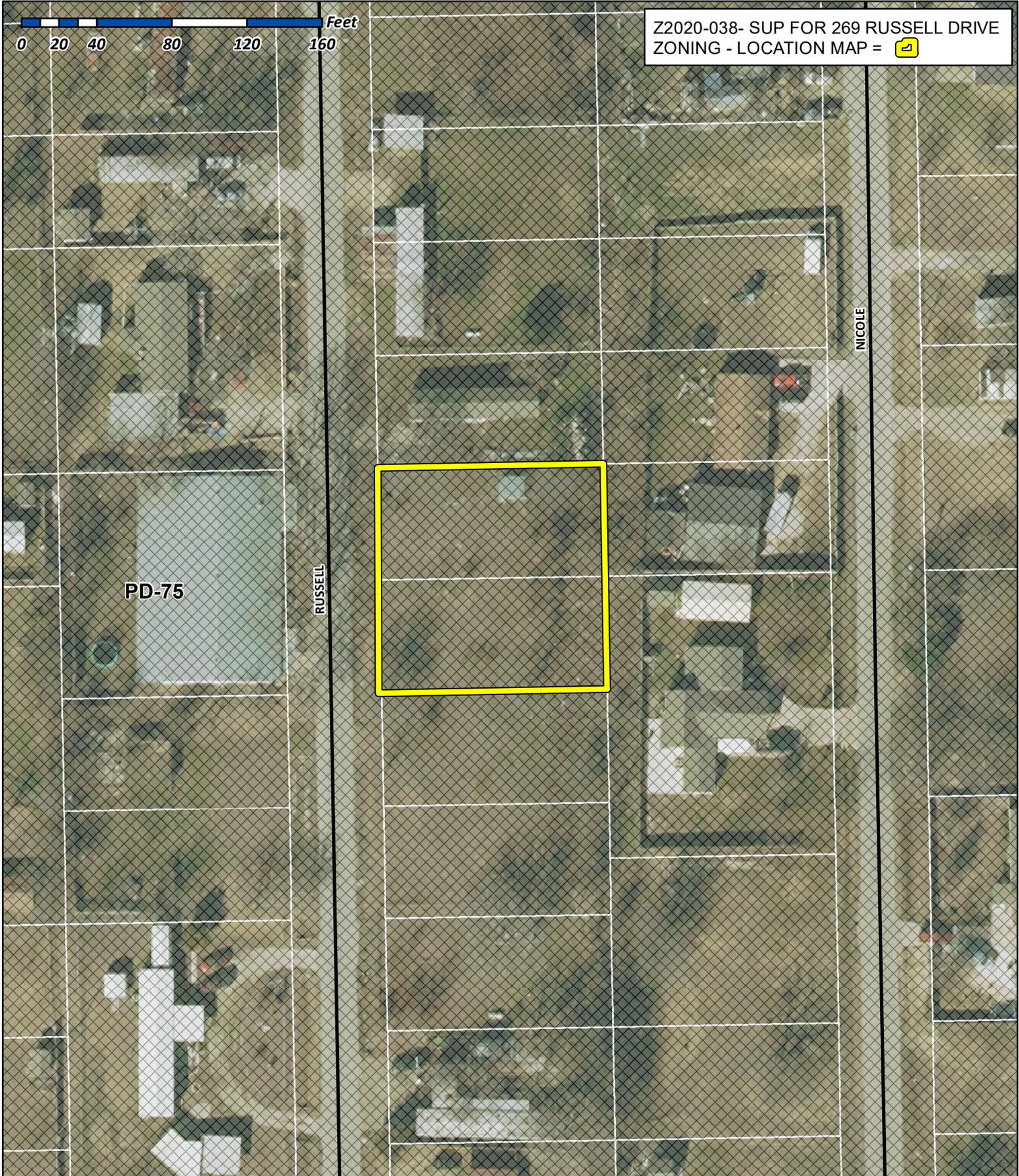
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

Owner's Signature Jose E Valerio

Notary Public In and for the State of Texas

My Commission Expires



PD-75

RUSSELL

NICOLE

Z2020-038- SUP FOR 269 RUSSELL DRIVE  
ZONING - LOCATION MAP = [location pin icon]



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

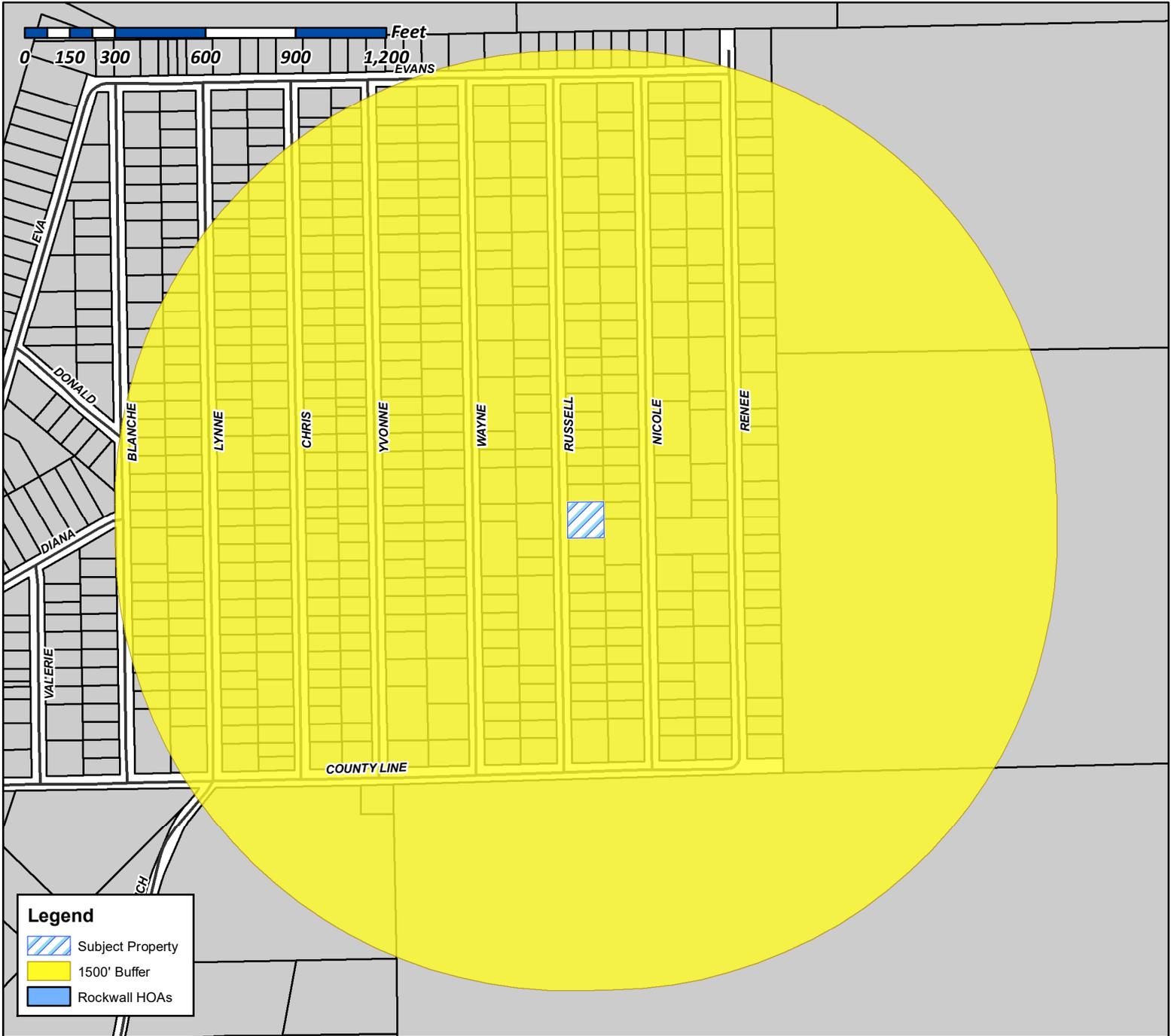
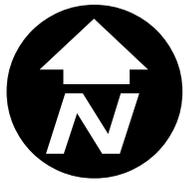




# City of Rockwall

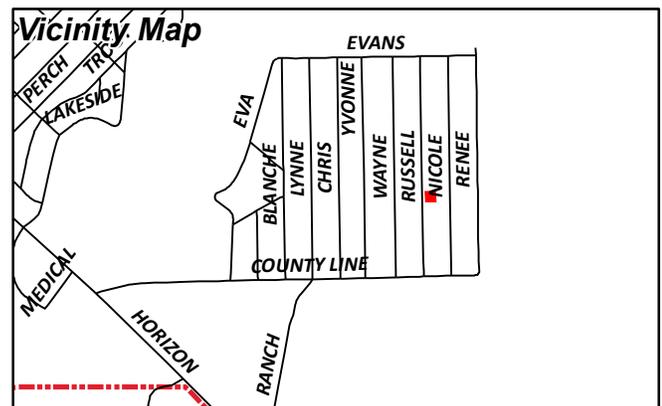
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2020-038  
**Case Name:** SUP for 269 Russell Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 269 Russell Drive

**Date Created:** 8/17/2020  
 For Questions on this Case Call (972) 771-7745





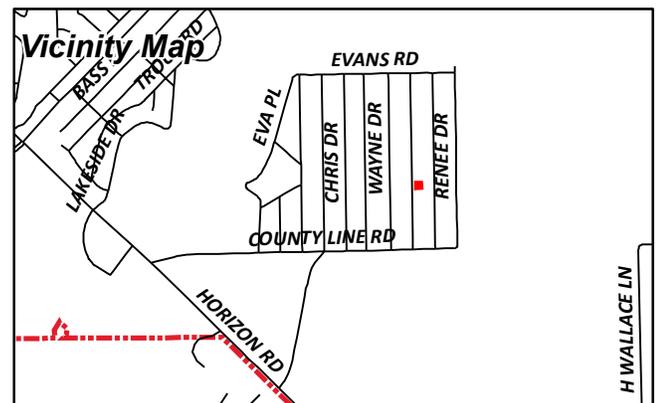
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**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 269 Russell Drive



**Date Created:** 8/17/2020  
**For Questions on this Case Call** (972) 771-7745

PUENTES VICENTE  
1006 DOVE DRIVE  
GARLAND, TX 75040

GALICIA VANESSA  
10935 ESTATE LN STE 495  
DALLAS, TX 75238

IBARRA MATEO CASTRO  
140 NICOLE DR  
ROCKWALL, TX 75032

RAMIREZ ZACARIAS  
143 RUSSELL  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
152 NICOLE  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
154 RUSSELL DR  
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ  
155 RUSSELL  
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
157 WAYNE  
ROCKWALL, TX 75032

DRCE TRUST  
159 NICOLE  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
164 NICOLE  
ROCKWALL, TX 75032

FAST INVESTMENTS LLC  
167 RUSSELL  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
168 RUSSELL  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
169 WAYNE  
ROCKWALL, TX 75032

IBARRA GABRIELA AND  
EDUARDO OSORNIO  
171 CRAWFORD LN  
ROYSE CITY, TX 75189

UC JOSE LUIS & GELLY DEL R  
176 NICOLE  
ROCKWALL, TX 75032

MEJIA JULIO & MARIA  
176 RENEE DR  
ROCKWALL, TX 75032

FAST INVESTMENTS LLC  
181 RUSSELL  
ROCKWALL, TX 75032

ACUNA NINFA  
182 RUSSELL  
ROCKWALL, TX 75032

HERNANDEZ FELICITAS  
183 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
1924 DEVONSHIRE  
GARLAND, TX 75041

FAST INVESTMENTS LLC  
193 RUSSELL DR  
ROCKWALL, TX 75032

CARMONA JOSE  
194 RENEE DRIVE  
ROCKWALL, TX 75032

ESPARZA NORA  
195 NICOLE  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
195 WAYNE  
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO  
195 WAYNE  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
196 NICOLE  
ROCKWALL, TX 75032

DAVID B RENO II & PATRICIA J RENO REVOCABLE  
LIVING TRUST  
198 RUSSELL  
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA  
200 CHAMBERLAIN DR  
FATE, TX 75189

RAMIREZ RUBIN & MARTHA  
204 WAYNE  
ROCKWALL, TX 75032

ESPARZA NORA  
207 NICOLE  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
208 NICOLE  
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN  
209 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO  
211 WAYNE  
ROCKWALL, TX 75032

CRUZ MARIA D  
212 LYNNE DR  
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA  
216 WAYNE  
ROCKWALL, TX 75032

PATINO SYLVIA AND  
ZEFERINO BUSTAMANTE  
2168 DOVE DR  
QUINLAN, TX 75474

DAVID B RENO II & PATRICIA J RENO REVOCABLE  
LIVING TRUST  
218 RUSSELL DRIVE  
ROCKWALL, TX 75032

CARMONA JOEL  
221 NICOLE DR  
ROCKWALL, TX 75032

TREJO CECILLIO  
221 RENEE  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
222 NICOLE  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
223 RUSSELL  
ROCKWALL, TX 75032

GURRUSQUIETA CELIA  
225 LYNNE DR  
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA  
226 WAYNE  
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO  
227 WAYNE  
ROCKWALL, TX 75032

KENDALL LEAH T  
227 YVONNE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA  
233 RENEE  
ROCKWALL, TX 75032

MORENO NOE  
235 RUSSELL  
ROCKWALL, TX 75032

SMITH ROY  
236 WAYNE  
ROCKWALL, TX 75032

KENDALL LEAH T  
237 YVONNE  
ROCKWALL, TX 75032

GALICIA VANESSA  
238 RUSSELL  
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN  
241 TROUT ST  
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA  
245 RENEE  
ROCKWALL, TX 75032

MORENO NOE  
247 RUSSELL  
ROCKWALL, TX 75032

SANCHEZ PABLO  
248 NICOLE DR  
ROCKWALL, TX 75032

GALICIA VANESSA  
248 RUSSELL  
ROCKWALL, TX 75032

SMITH ROY  
248 WAYNE DR  
ROCKWALL, TX 75032

LINDOP N A JR  
248 WAYNE DR  
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ  
249 YVONNE  
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN  
250 RENEE  
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA  
251 WAYNE DR  
ROCKWALL, TX 75032

VALERIO JOSE E  
257 RUSSELL  
ROCKWALL, TX 75032

GEMINI VL LLC &  
ROCKWALL LAKE PROP LLC  
259 YVONNE  
ROCKWALL, TX 75032

SANCHEZ PABLO  
262 NICOLE  
ROCKWALL, TX 75032

CRUZ DEBRA J  
262 RENEE DR  
ROCKWALL, TX 75032

GALICIA VANESSA  
262 RUSSELL  
ROCKWALL, TX 75032

LINDOP N A JR  
264 WAYNE  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L  
265 RENEE DR  
ROCKWALL, TX 75032

VALERIO JOSE E  
269 RUSSELL  
ROCKWALL, TX 75032

DIAZ FRANCISCO  
271 YVONNE  
ROCKWALL, TX 75032

GUEVARA ELIAS  
274 EASTRIDGE DR  
ROYSE CITY, TX 75189

FLORES LISANDRA CONTRERAS  
274 NICOLE  
ROCKWALL, TX 75032

LINDOP JOYCE ANN  
274 WAYNE DR  
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA  
275 WAYNE DR  
ROCKWALL, TX 75032

DIAZ FRANCISCO  
281 YVONNE  
ROCKWALL, TX 75032

ESTRADA NOHEMA  
283 NICOLE  
ROCKWALL, TX 75032

JIMENEZ RICARDO  
2847 TANGLEGLEN DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L  
285 RENEE  
ROCKWALL, TX 75032

GURRUSQUIETA CELIA  
285 RUSSELL  
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS  
288 NICOLE DRIVE  
ROCKWALL, TX 75032

RIVERA DORIS MABEL  
288 RENEE DR  
ROCKWALL, TX 75032

IBARRA GABRIELA AND  
EDUARDO OSORNIO  
291 RENEE  
ROCKWALL, TX 75032

SOSA LORENA  
293 NICOLE DR  
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &  
JESUS SANCHEZ  
293 YVONNE DR  
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE  
296 RUSSELL DR  
ROCKWALL, TX 75032

GARCIA RICARDO  
298 WAYNE DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

NAVA LUZ A  
2994 S FM 551  
ROYSE CITY, TX 75189

FLORES LISANDRA CONTRERAS  
302 NICOLE  
ROCKWALL, TX 75032

VALERIO JOSE E  
3027 MASON DR  
MESQUITE, TX 75150

MENDEZ ALAN ERNESTO ROJAS AND YAZMIN  
ACOSTA MEJIA  
303 RENEE DR  
ROCKWALL, TX 75032

MACIEL JENNIFER E  
303 WAYNE DR  
ROCKWALL, TX 75032

GUEVARA ELIAS  
307 YVONNE  
ROCKWALL, TX 75032

ARCINIEGA D ODIN A  
310 RUSSELL DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
311 RUSSELL  
ROCKWALL, TX 75032

BENITES ROSA  
312 NICOLE  
ROCKWALL, TX 75032

ESPARZA MARCO  
312 RENEE  
ROCKWALL, TX 75032

PATINO SYLVIA AND  
ZEFERINO BUSTAMANTE  
313 WAYNE  
ROCKWALL, TX 75032

COVARRUBIAS CARLOS  
314 WAYNE  
ROCKWALL, TX 75032

NAVA LUZ A  
321 RUSSELL  
ROCKWALL, TX 75032

PATINO SYLVIA AND  
ZEFERINO BUSTAMANTE  
321 WAYNE  
ROCKWALL, TX 75032

BENITES ROSA  
322 NICOLE DR  
ROCKWALL, TX 75032

RODARTE PASCUAL AND SARA I  
322 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ YERICA V CARRIZALES  
326 WAYNE  
ROCKWALL, TX 75032

MACIAS ARMANDO JAMIE  
327 NICOLE DR  
ROCKWALL, TX 75032

JIMENEZ RICARDO  
330 RENEE  
ROCKWALL, TX 75032

NAVA LUZ A  
335 RUSSELL  
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA  
336 NICOLE DR  
ROCKWALL, TX 75032

SOSA LORENA  
338 WAYNE DR  
ROCKWALL, TX 75032

WILBURN RONALD J  
345 WAYNE DR  
ROCKWALL, TX 75032

JIMENEZ HELIODORO & MARIA ELENA  
346 RUSSELL  
ROCKWALL, TX 75032

CRUZ MARIA D  
347 RUSSELL  
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA  
352 WAYNE DR  
ROCKWALL, TX 75032

JIMENEZ RICARDO  
353 NICOLE  
ROCKWALL, TX 75032

YANEZ ALONSO TORRES  
358 RENEE  
ROCKWALL, TX 75032

JIMENEZ HELIODORO & MARIA ELENA  
358 RUSSELL  
ROCKWALL, TX 75032

CRUZ MARIA D  
359 RUSSELL  
ROCKWALL, TX 75032

CONTRERAS NORMA  
360 NICOLE DR  
ROCKWALL, TX 75032

BRYANT JERRY LYNN  
366 WAYNE DR  
ROCKWALL, TX 75032

PUENTES VICENTE  
370 RUSSELL  
ROCKWALL, TX 75032

CRUZ MARIA D  
371 RUSSELL  
ROCKWALL, TX 75032

CONTRERAS NORMA  
372 NICOLE  
ROCKWALL, TX 75032

MCCLOUD JOY ANN  
375 NICOLE DR  
ROCKWALL, TX 75032

CRUZ MARIA D  
381 RUSSELL  
ROCKWALL, TX 75032

JIMENEZ RICARDO  
382 NICOLE  
ROCKWALL, TX 75032

PUENTES VICENTE  
382 RUSSELL  
ROCKWALL, TX 75032

RESENDIZ ESTELA  
385 WAYNE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
416 BASS RD  
ROCKWALL, TX 75032

DRCE TRUST  
4219 ASHMONT CT  
DALLAS, TX 75287

YANEZ ALONSO TORRES  
473 RENEE DR  
ROCKWALL, TX 75032

MORENO NOE  
474 BASS RD  
ROCKWALL, TX 75032

GEMINI VL LLC &  
ROCKWALL LAKE PROP LLC  
5713 SECREST CT  
GOLDEN, CO 80403

JIMENEZ HELIODORO & MARIA ELENA  
6101 BAY ISLAND DR APT 1007  
GARLAND, TX 75043

RAMIREZ ZACARIAS  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

ACUNA NINFA  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

ESTRADA NOHEMA  
705 LAKESIDE DR  
ROCKWALL, TX 75032

ESPARZA NORA  
7723 GLENMERE TRAIL  
SACHSE, TX 75048

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO  
9233 WHISKERS RD  
QUINLAN, TX 75474

TREJO CECILLIO  
M/R  
, TX

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-038: SUP for Residential Infill at 269 Russell Drive**

Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2020-038: SUP for Residential Infill at 269 Russell Drive**

**Please place a check mark on the appropriate line below:**

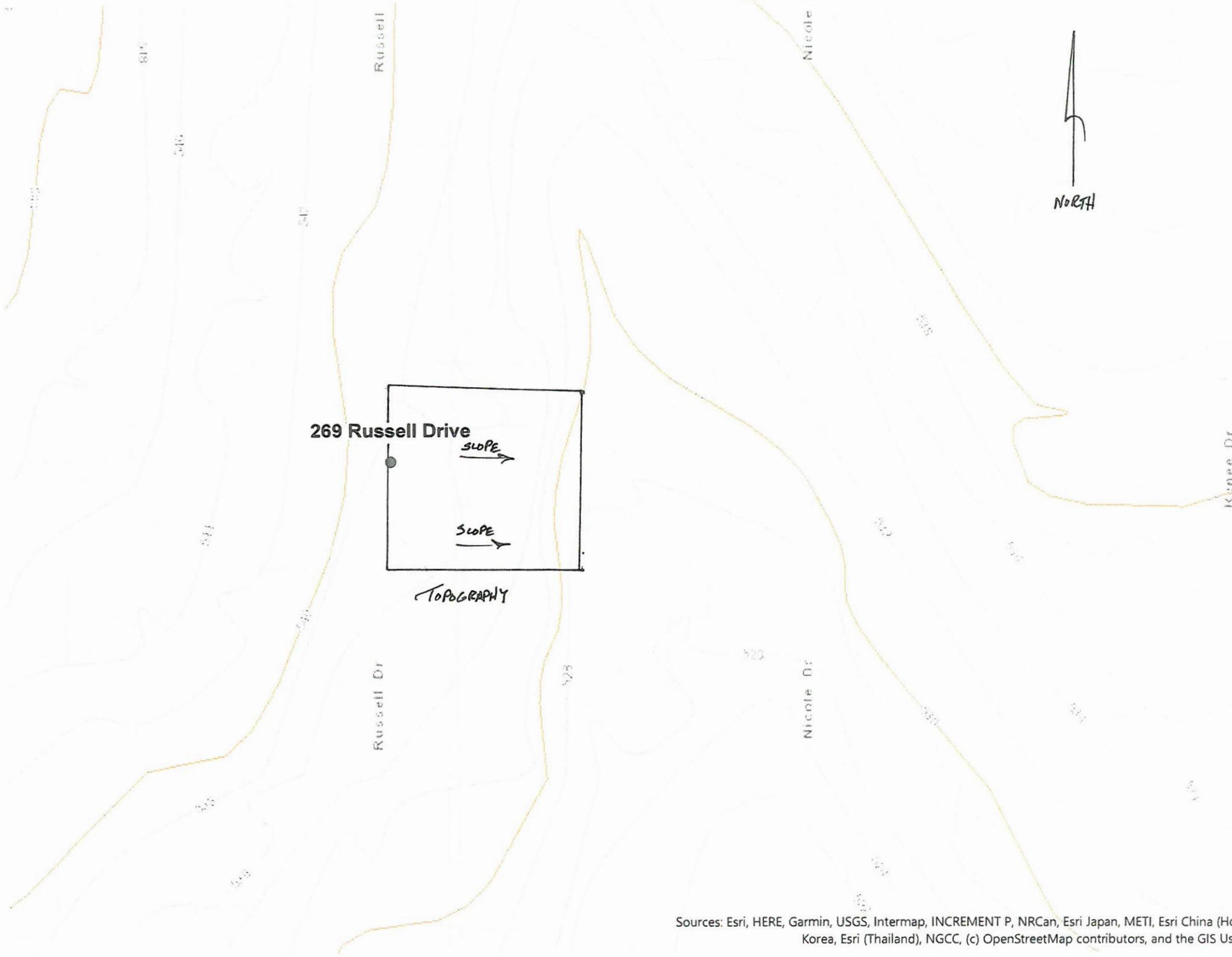
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

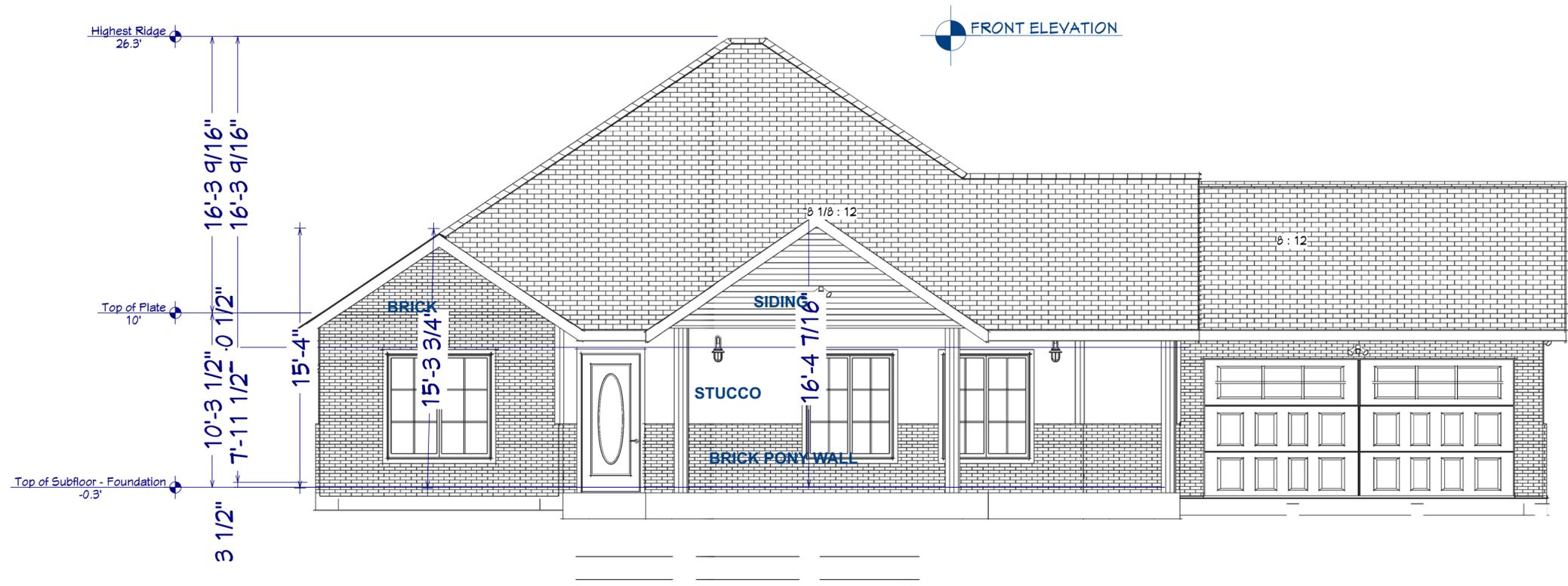
[Redacted area]

Name: [Redacted]  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





FRONT ELEVATION



BACK ELEVATION

**ROOF FRAMING / TRUSS NOTES:**  
 TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.  
 ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.  
 ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.  
 ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.  
 ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.  
 ALL ROOF FRAMING 24" O.C.  
 ALL OVERHANGS 16".  
 INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.  
 ATTIC VENTILATION: REQUIRED ABOVE HOUSE.  
 MIN. SNOW LOAD 50 LBs PER SQUARE FOOT.  
 WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

**FLOORS AND ROOFS**  
 ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.  
 PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.  
 SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.  
 THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

NUMBER	DATE	REVISION BY	DESCRIPTION

**TRUSS NOTES:**  
 1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.  
 2. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.  
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 5. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ BRACKS ETC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.  
 6. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURE.  
 7. ALL ROOF FRAMING 24" O.C.  
 8. ALL ROOF PITCH 4:12  
 9. SCISSOR TRUSS CEILING PITCH 2:12  
 10. TRUSSES MANUFACTURED BY  
 11. ALL OVERHANGS 16"

**EXTERIOR FINISH NOTES:**  
 1. EXTERIOR FINISH TO BE FIBER CEMENT SIDING OVER 5/8 CDX PLYWOOD/OSB. WINDOW & DOOR TRIM CEDAR. MATERIAL AND COLOR BY OWNER.  
 2. ROOFING TO BE 90 YEAR ASPHALT OVER 30# FELT, 5/8 CDX PLYWOOD/OSB.  
 3. DECKING TO BE TREX OR WOOD. FINAL MATERIAL AND COLOR BY OWNER.  
 4. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY.  
 5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.  
 6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.  
 7. BASALT RETAINING WALLS TO MATCH EXISTING RETAINING WALL.

**WALL PANEL NOTES:**  
**B.P. BRACED WALL PANEL**  
 3'-4" MIN. LENGTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD.  
**I.B.P. INTERIOR BRACED WALL PANEL**  
 1/2" GYP. BD PER R 602.10.3(5), 1/2 GWS EACH SIDE w/ #6 X 1 1/4 TYPE S OR W SCREWS PERS ASTM C1002 @ 7" o/c @ ALL SUPPORTS  
**A.B.P. ALTERNATE BRACED WALL PANEL**  
 2'-8" MIN. WIDTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD & (2) A.B. PER PANEL LOCATED AT 1/4 POINTS & 180# MIN. HOLDDOWN EACH END \*HPAD22 OR STD10)

**LUMBER SPECIES:**  
 1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.  
 2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.  
 3. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.  
 4. ALL STUDS TO BE DF#2 OR BETTER.  
 5. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:  
 6. ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 9/32 OSB.  
 7. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.  
 8. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS.

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. FINE C WORKS is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF FINE C WORK. DEVELOPED FOR THE EXCLUSIVE USE OF FINE C WORKS. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF FINE C WORKS IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES

NUMBER	DATE	REVISION BY	DESCRIPTION

- LIVING AREA SQ.FT 1,923
- INTERIOR AREA SQ.FT 2,404
- STANDARD AREA ((FOUNDATION)) SQ.FT 2,585

269 RUSSELL DRIVE  
 ROCKWALL COUNTY  
 TEXAS 75032

ELEVATION PLAN VIEWS

DRAWINGS PROVIDED BY:  
 FINE C WORKS  
 RUBEN SEGOVIA

DATE:  
 11/18/2019

SCALE:  
 3/16"=1'

SHEET:  
 P-4

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ALL ROOF FRAMING 24" O.C.

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INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

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ATTIC VENTILATION AREA / 300	TRUSS NOTES:
PROVIDE 1" MIN. AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.	1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
PROVIDE GABLE VENTS ALL GABLE ENDS.	2. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
PROVIDE GABLE ROOF VENTS ON INSIDE OF ROOF LINE ABOVE CONDITIONED AREA.	3. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
	4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
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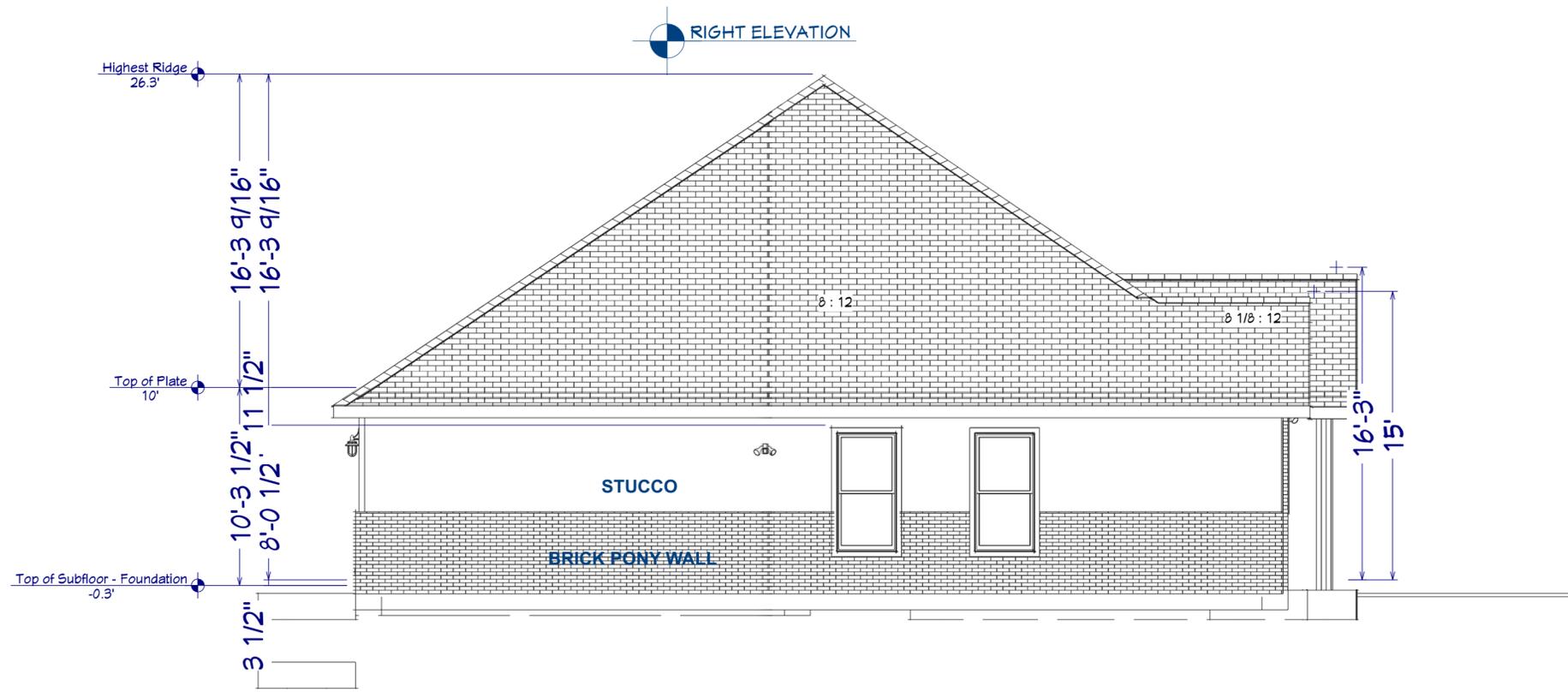
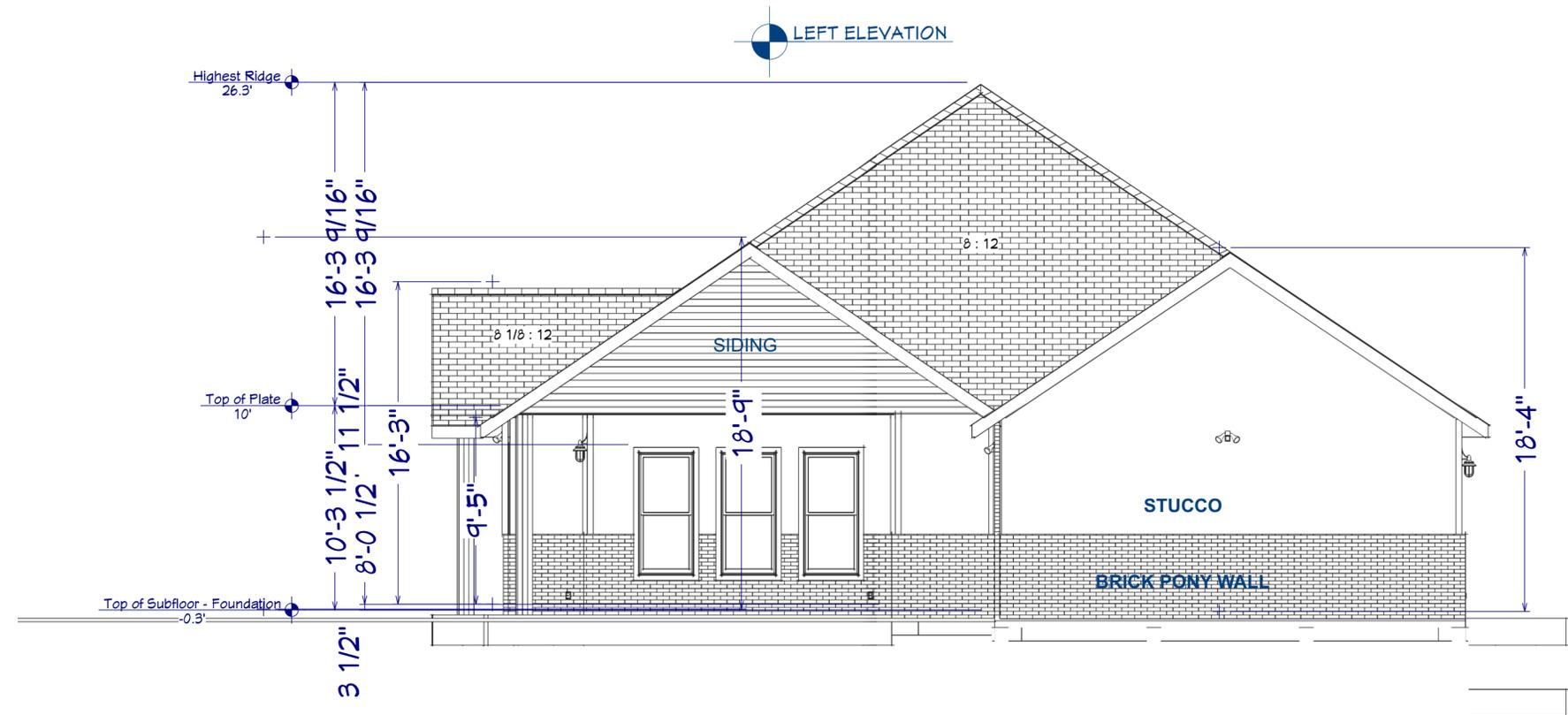
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ELEVATION PLAN VIEWS

DRAWINGS PROVIDED BY:  
FINE C WORKS  
RUBEN SEGOVIA

DATE:

11/18/2019

SCALE:

3/16"=1'

SHEET:

P-5

**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS JOSE VALERIO, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

Being a lot, tract or parcel of land situated in the John R. Johnson Survey, Abstract No. 128, Rockwall County, Texas, and being all of Lots 1286 and 1287 of Rockwall Lake Properties Development No. 2 according to the plat thereof recorded in Cabinet A, Slide 79, Map Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found at the southeast corner of said Lot 1287, the Northeast corner of Lot 1288, the Northwest corner of Lot 1311 and the Southwest corner of Lot 1312 of said Rockwall Lake Properties;

THENCE South 89 degrees 04 minutes 33 seconds West, with the South line of said Lot 1287 and the North line of said Lot 1288, a distance of 120.18 feet to a 1/2 inch iron rod found at the Southwest corner of said Lot 1287, the Northwest corner of said Lot 1288, and on the East line of Russell Drive (50' R.O.W.), from which a 1/2 inch iron rod found bears South 01 degrees 03 minutes 38 seconds East, a distance of 59.88 feet;

THENCE North 01 degrees 03 minutes 38 seconds West, with the West line of said Lot 1287 and Lot 1286 and the East line of Russell Drive, a distance of 120.57 feet to a 1/2 inch iron rod and yellow cap stamped "By-Line" set at the Northwest corner of said Lot 1286 and the Southwest corner of Lot 1285 of said Rockwall Lake Properties, from which a 1/2 inch iron rod found bears North 01 degrees 03 minutes 38 seconds West, a distance of 241.40 feet;

THENCE North 89 degrees 09 minutes 08 seconds East, with the North line of said Lot 1286 and the South line of said Lot 1285, a distance of 120.18 feet to a 1/2 inch iron rod and yellow cap stamped "By-Line" set at the Northeast corner of said Lot 1286, the Southeast corner of said Lot 1285, the Southwest corner of Lot 1314 and the Northwest corner of Lot 1313 of said Rockwall Lake Properties, from which a 1/2 inch iron rod found bears North 01 degrees 03 minutes 38 seconds West, a distance of 242.57 feet;

THENCE South 01 degrees 03 minutes 38 seconds East, with the East line of said Lot 1286 and Lot 1287 and the West line of said Lot 1313 and said Lot 1312, a distance of 120.41 feet to the POINT OF BEGINNING and CONTAINING 0.33 acres of land or 14,481 square feet.

**OWNER'S DEDICATION**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the REPLAT OF LOTS 1286 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the REPLAT OF LOTS 1286 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

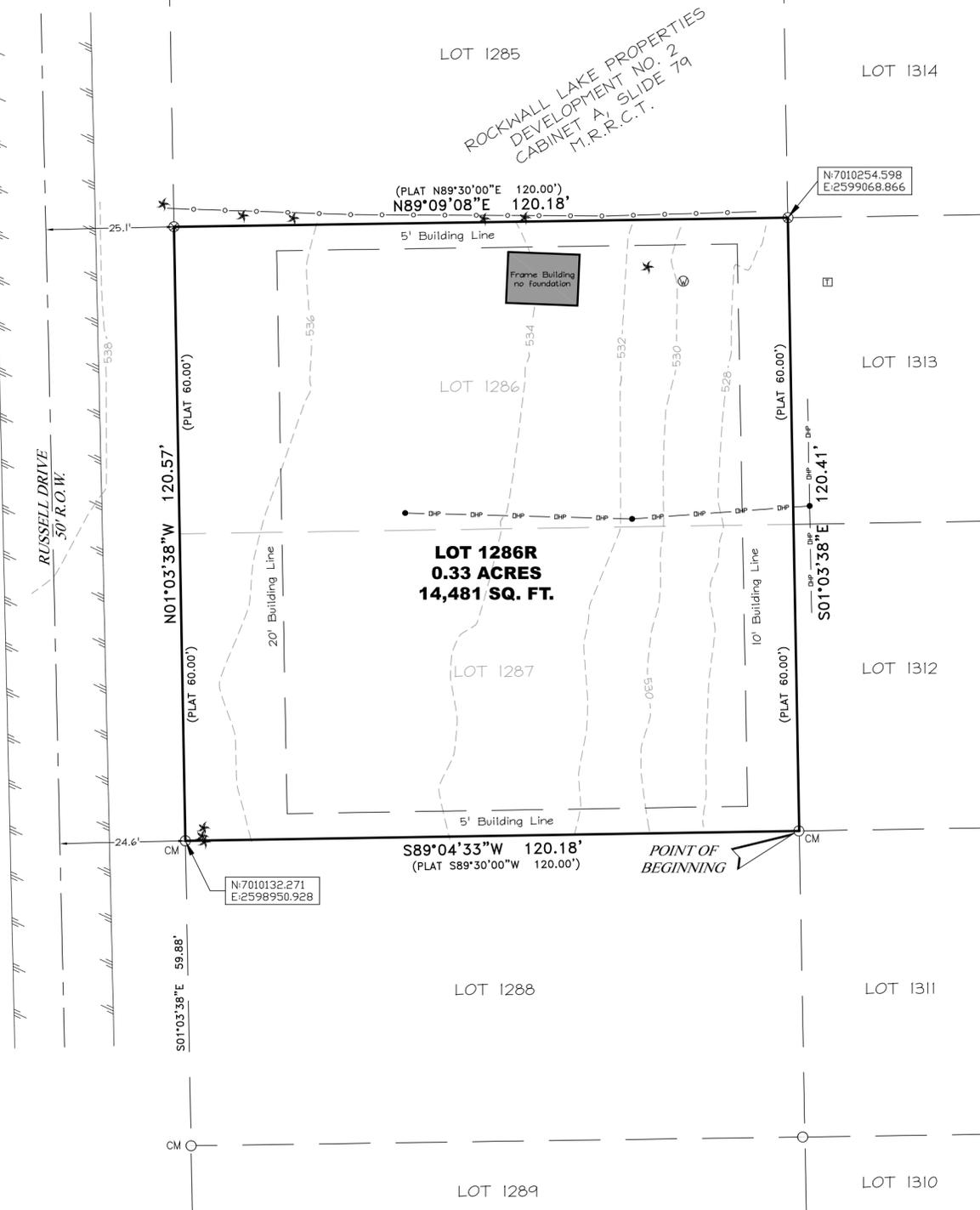
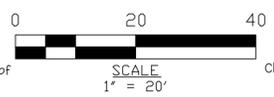
\_\_\_\_\_  
Jose Valerio, Owner

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Jose Valerio, Owner, known to me to be the persons whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public in and for the State of Texas



**LEGEND**

- CM CONTROLLING MONUMENT
- 1/2" IRON ROD FOUND
- ⊗ 1/2" IRON ROD SET (BY-LINE)
- ★ HACKBERRY TREE
- POWER POLE
- TELEPHONE PEDESTAL
- ⊙ WATER METER
- — — ASPHALT
- ○ — ○ — CHAINLINK FENCE
- DP — DP — OVERHEAD ELCTRIC LINE
- BUILDING

**VICINITY MAP NOT TO SCALE**

**NOTES:**

- Bearings based on Texas State Plane Coordinates, Texas North Central Zone 4202 as obtained by GPS observation.
- Any structure new or existing may not extend across new property lines.
- The purpose of this plat is to create one lot from two lots.
- Coordinates shown are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale, No Projection.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- The property is shown as being located within Zone X by Flood Insurance Rate Map No. 48397C0040L, dated 09/26/2008. It is shown as not being located in a special flood hazard area inundated by 100-year flood.

**RECOMMENDED FOR FINAL APPROVAL**

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

**APPROVED:**

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

**KNOW ALL MEN BY THESE PRESENTS:**

That I, Wayne Beets, II, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the platting rules and regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

This \_\_\_\_\_ day of \_\_\_\_\_, 2020

**PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

Wayne Beets, II  
Registered Professional Land Surveyor No. 6039

**REPLAT OF LOTS 1286 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2**

AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

IN THE JOHN R. JOHNSON SURVEY, ABSTRACT NO. 128

CASE NO. \_\_\_\_\_

OWNER - JOSE VALERIO  
3027 MASON DR, MESQUITE, TX 75150 -  
PHONE NUMBER 469-286-9964

ADDRESS:  
269 # 257 RUSSELL DRIVE,  
ROCKWALL, TEXAS  
ACREAGE: 0.33 ACRES  
ZONING: PD-75  
PREPARED: 1/31/2020  
BY-LINE JOB NO: 2020-009  
SCALE: 1" = 20'  
TECHNICIAN: TYB

**BY-LINE SURVEYING LLC**

P.O. Box 834  
Emory, Tx 75440  
Ph: (903) 473-5150  
Firm No: 10194233  
www.bylinesurveying.com

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE TRACT OF LAND, IDENTIFIED AS LOTS 1286 & 1287, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ruben Segovia for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF OCTOBER, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 21, 2020

2<sup>nd</sup> Reading: October 5, 2020

**Exhibit 'A'**  
*Location Map*

Address: 269 Russell Drive

Legal Description: Lot 1286, Rockwall Lake Estates #2 Addition



**City of Rockwall**

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







# Exhibit 'C': Building Elevations

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">REVISION TABLE</th> <th style="width: 50%;">REVISION BY / REVISION DATE</th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	REVISION TABLE	REVISION BY / REVISION DATE									• LIVING AREA SQ. FT. 1,923 • INTERIOR AREA SQ. FT. 2,404 • (FOUNDATION) SQ. FT. 2,585	269 RUSSELL DRIVE ROCKWALL COUNTY TEXAS 75082	ELEVATION PLAN VIEWS
REVISION TABLE	REVISION BY / REVISION DATE												
DRAWINGS PROVIDED BY: RUBEN REGOVARA		DATE: 11/18/2019											
SCALE: 3/16"=1'		SHEET: P-5											

**GENERAL NOTES:**

1. THESE DRAWINGS ARE FOR CONSTRUCTION OF THE EXTERIOR ELEVATIONS OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
3. ALL MATERIALS SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**FINISH NOTES:**

1. ALL FINISHES SHALL BE AS SPECIFIED IN THESE DRAWINGS.
2. ALL FINISHES SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THESE DRAWINGS.
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**WALL FINISHES:**

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**CEILING FINISHES:**

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**ALLOWANCES:**

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**GLAZING AND JOISTS:**

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# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** David Gonzales, *Planning and Zoning Manager*  
**DATE:** September 15, 2020  
**SUBJECT:** SP2020-018; *Amended Site Plan for Harbor Hills Condominiums*

---

The applicant, Jimmy Strohmeyer of Strohmeyer Architects, is requesting the approval of an amended site plan for the purpose of changing the exterior building elevations of a previously approved condominium building (*i.e. the Harbor Hills Condominiums*). The proposed 265-unit condominium building was originally approved by site plan (*Case No. SP2015-004*) on March 16, 2015 by the City Council. At the time of this approval, the applicant requested and was granted two (2) waivers to the building form requirements, and two (2) variances associated with the building material requirements. This site plan expired in accordance with the requirements of Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Based on this the applicant submitted a subsequent site plan (*Case No. SP2018-037*), which was approved by the City Council on December 17, 2020. The following is a list of all of the waivers and variances approved with this site plan case:

- (1) *Variances to the Building Material Requirements of the Unified Development Code (UDC)*
  - (a) *Stone Requirements*. A variance for not meeting the minimum 20% natural or quarried stone requirement for each façade of the building. This included an exception for the use of cultured stone in addition to the variance for the amount of stone.
  - (b) *Masonry Material Requirements*. A variance for exceeding a maximum of 50% stucco (*i.e. cementitious material*) on each building façade.
- (2) *Waiver to the Building Form and Placement Requirements of Planned Development District 32 (PD-32) [Ordinance No. 17-22]*
  - (a) *Building Form*. A waiver for 30% of the building's front façade length not fronting onto Summer Lee Drive.
  - (b) *Build-To-Lines and Building Setbacks*. A waiver for not meeting the average setback of 20-feet from the Summer Lee Drive right-of-way line.
  - (c) *1<sup>st</sup> Floor Height*. A waiver for not meeting the first-floor building height, which is required to be built to a commercial height of 15-feet.
  - (d) *Building Height*. A waiver for exceeding the maximum building height of five (5) stories or 75-feet.
- (3) *Waiver to the Parking Requirements of Planned Development District 32 (PD-32) [Ordinance No. 17-22]*
  - (a) *Surface Parking Setback*. A waiver for not meeting the surface parking setback requirements, which are a minimum of ten (10) feet from the right-of-way line.

Staff should point out that the applicant's request does not change the building elevations, only the color of the stucco and stone veneer from a tan/beige earth tone pallet to a color that is primarily white with light gray accents. While changes in color do not typically require site plan approval, in this case the applicant's colors and materials were tied to previous approvals that necessitate the Planning and Zoning Commission to reexamine the case and make a decision based on all past approvals. Staff should note that according to Section 6, *Architectural Guidelines*, of *Resolution No. 10-40 (i.e. the Design Guidelines for development within Planned Development District 32 [PD-32])*, the "Primary Material Colors...shall be selected within earth tone ranges and shall complement each other ... [and] Secondary Material Colors ... shall be non-white within earth tone ranges." With this being said, on August 25, 2020, the Architectural Review Board (ARB) reviewed the revised building elevations and unanimously approved a motion to recommend approval of the proposed changes to the building elevations.

As a part of this consideration, staff has listed all of the conditions of approval from the December 17, 2018 site plan approval [Case No. SP2018-037] for the Planning and Zoning Commission's consideration with this new request. These conditions of approval are as follows:

- (1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) The abandonment and acquisition of the property in front of the subject property (*i.e. between Summer Lee Drive and the subject property, adjacent to the proposed northern most driveway*) will need to be addressed with the final plat [*this is needed to meet the building setbacks for the buildings and to provide fire access to the north side of the building*];
- (3) The construction of Glen Hill Way will need to be completed prior to the building receiving final approval from the Building Inspections and Engineering Departments;
- (4) All stucco shall be a three (3) part stucco;
- (5) A *Treescape Plan* depicting the full property and all trees being removed for this development will be required prior to the issuance of a grading permit. In addition, all tree mitigation balances will need to be satisfied prior to the removal of any trees on-site;
- (6) The applicant shall submit a *Streetscape Plan* showing conformance to the requirements of *Ordinance No. 17-22, Resolution No. 10-40*, and the UDC; and
- (7) Any construction resulting from the approval of this *site plan request* shall conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision

LOT 1 BLOCK A HARBOR HILLS ADD. Lot 1 Block A

General Location

4.032 ACRES AT SUMMER LEE AND SUNSET RIDGE DR.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

PD-32 APPROVED SITE PLAN? Current Use

Proposed Zoning

SAME - Proposed Use

Acreage

4.032 ACRES

Lots [Current]

Lots [Proposed]

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

HARBOR LAKE POINTE INVESTORS, LLC

Applicant

Contact Person

RUSSELL PHILLIPS

Contact Person

JIMMY STROHMEYER

Address

2701 SUNSET RIDGE DR.

Address

STE 607

City, State & Zip

ROCKWALL, TX 75032

City, State & Zip

Phone

469 446 7734

Phone

214 497 2057

E-Mail

RUSSELL@STERLINGONE.US

E-Mail

JIMMY@STROHMEYERARCHITECTS.COM

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100, to cover the cost of this application, has been paid to the City of Rockwall on this the 12<sup>th</sup> day of AUGUST, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.

Owner's Signature

*Russell Phillips*

My Commission Expires



SP2020-018- SITE PLAN FOR HARBOR HILLS ADDITION  
 SITE PLAN - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
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EXTERIOR COLORS



CONCRETE ROOF TILE:  
BORAL - TEJAS ESPANA -  
CUSTOM BLEND 8



EXTERIOR STONE VENEER:  
ELDORADO STONE  
PROFILE - MC-CROP-  
MARQUEE 24 - DOVE TAIL



WINDOWS  
EXTERIOR DOORS  
RAILS  
BRONZE



MORTAR:  
SPEC MIX  
SM200 WHITE



3 COAT STUCCO SYSTEM:  
COLOR #1: STANDARD COLOR - WHITE  
(TYP. AT ALL HORIZONTAL BANDING.)

WEST ELEVATION EXTERIOR MATERIAL FOOTAGES:

TOTAL SURFACE SQUARE FOOTAGE	=	15,038
AREA OF STUCCO MATERIAL	=	10,957
AREA OF STONE ON BUILDING FASCAD E	=	1,096
AREA OF STONE ON EXPOSED GARAGE	=	2,985



2 WEST EXTERIOR ELEVATION (LAKE SIDE) SCALE: NTS

NORTH ELEVATION EXTERIOR MATERIAL FOOTAGES:

TOTAL SURFACE SQUARE FOOTAGE	=	13,140
AREA OF STUCCO MATERIAL	=	10,585
AREA OF STONE ON BUILDING FASCAD E	=	1,202
AREA OF STONE ON EXPOSED GARAGE	=	1,353



1 NORTH EXTERIOR ELEVATION SCALE: NTS

**DBA**  
 ARCHITECTS  
111 S. KENTUCKY SUITE 210 McCOMB, TEXAS 75009 989-900-4005



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**HARBOR HILL**  
 2400 SUMMER LEE DRIVE  
 ROCKWALL, TEXAS 75082  
**EXTERIOR ELEVATION**  
**NORTH & WEST VIEWS**

Issue Dates:  
 ISSUED FOR PRICING 10-02-2019  
 ADDENDUM #4 10-23-2019  
 ISSUE FOR PERMIT REVIEW 11-22-2019  
 ISSUE FOR PERMIT 01-09-2020  
 REVISION PS1 02-14-2020

Scale:  
 Drawn By: KM, TT  
 Checked by: BM

Sheet  
**A501R**  
 Project No.  
**SP2018-037**

ISSUE FOR PERMIT: 01-09-2020

EXTERIOR COLORS



CONCRETE ROOF TILE:  
BORAL - TEJAS ESPANA -  
CUSTOM BLEND 8



EXTERIOR STONE VENEER:  
ELDORADO STONE  
PROFILE - MC-CROP-  
MARQUEE 24 - DOVE TAIL



WINDOWS  
EXTERIOR DOORS  
RAILS  
BRONZE



MORTAR:  
SPEC MIX  
SM200 WHITE



3 COAT STUCCO SYSTEM:  
COLOR #1: STANDARD COLOR - WHITE  
(TYP. AT ALL HORIZONTAL BANDING.)

EAST ELEVATION EXTERIOR MATERIAL FOOTAGES:

TOTAL SURFACE SQUARE FOOTAGE	=	12,387
AREA OF STUCCO MATERIAL	=	10,203
AREA OF STONE ON BUILDING FASCAD E	=	1,433
AREA OF STONE ON EXPOSED GARAGE	=	751



2 EAST EXTERIOR ELEVATION

SCALE: NTS

SOUTH ELEVATION EXTERIOR MATERIAL FOOTAGES:

TOTAL SURFACE SQUARE FOOTAGE	=	13,589
AREA OF STUCCO MATERIAL	=	10,941
AREA OF STONE ON BUILDING FASCAD E	=	800
AREA OF STONE ON EXPOSED GARAGE	=	1,848



1 SOUTH EXTERIOR ELEVATION

SCALE: NTS

**DBA**  
 ARCHITECTS  
111 S. KENTUCKY SUITE 210  
 McKNANEY, TEXAS 75068  
 989-900-4905



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**HARBOR HILL**  
 2400 SUMMER LEE DRIVE  
 ROCKWALL, TEXAS 75082  
**EXTERIOR ELEVATION**  
**EXTERIOR PERIMETER**

Issue Dates:

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